

Memorandum

March 28, 2017

To: Bidding Contractors and Plans Rooms

Fr: Rob Woodruff, AIA, CDT
ADW Architects, p.a.

Re: **ADDENDUM NO. 1**

NCDOT Division 10 Office Security Upgrades in Albemarle, NC
SCO ID#: **16-15785-01A**
ADW Job no.: 16020

The Pre-Bid Meeting was held at the site on March 22nd. This addendum and subsequent addenda will be distributed to the attendees and the plan rooms listed in the Advertisement for Bids.

SUPPLEMENTAL INFORMATION TO BIDDERS

1. Attached is a copy of the meeting Attendance List and Agenda.
2. Construction Work to be performed during normal business hours (8am-4:30pm Monday through Friday). Case-by-case consideration will be given for circumstances where Construction is necessary outside of the normal business hours. Note that State and National Holidays are observed by NCDOT and therefore the building will be closed on those dates unless special consideration is granted by the Owner.
3. Site visitations can be scheduled during the bid period through Tim Kirk at 704.244.1216.
4. Per the documents, none of the active security equipment, devices, or wiring other than 120 volt connections are to be provided by the electrical contractor. Electrical Contractor provides empty conduits and outlet boxes for cameras, card readers, and other security and access control equipment, but the cameras, readers, servers, controllers, monitors, cabling, etc. are provided and installed under separate agreement by the Owner's selected security system vendor. Where indicated in the documents, "by the owner" and "by the security system installer" mean the same thing.
5. The drawings and specifications have already been reviewed and approved by the State Construction Office. There is no review or permit fee to be included in the Bid costs.

6. Taxes can be shown as a line item, if you wish. They will need to be tracked during construction. A tabulation of taxes will need to accompany the final pay application.
7. A tabulation of payments to minority businesses will need to accompany each pay application.

CHANGES TO DRAWINGS

8. Attached are revised pdf files for sheets A101 and A102.
9. A101 – refer to additional information regarding site bollard.
10. A102 – refer to clarification on doors and windows.

These clarifications constitute **Addendum No. 1** and should be considered part of the Bid Documents. General Contractor shall see that their sub-contractors are in full receipt of the information contained herein.

End of Addendum

Cc: \ Interested parties

Attendee	Company	Prime GC? (Y/N)	Phone #	Email
Joey Carpenter	Carpenter Construction	Y	704 485 8598	joey@carpenterconstructioncompany.com
Eric Overcash	Stanley Security	Y	317-919- 3 ⁹²¹³	eric.overcash@sbdlinc.com
Bob Basile	STANLEY SECURITY		585-905-1760	robert.basile@sbdlinc.com
Robert Rogers	Schneider Electric	N	803-370-4254	robert.rogers1@schneider-electric.com
Tim Kirk	NC DOT / DIVISION 10		704-244-1216	tmkirk@ncdot.gov
Rob Woodruff	ADW Architects			

GENERAL SHEET NOTES

- FIELD VERIFY ALL CONDITIONS. GENERAL CONTRACTOR MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK AFFECTED BY SUCH DISCREPANCY.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD U.N.O.

GENERAL NOTES - DEMOLITION

- NOTE THAT ALL ITEMS TO BE REMOVED OR MODIFIED MAY NOT BE LISTED ON THIS SHEET. BALANCE OF DRAWINGS INDICATE OTHER ITEMS NOT LISTED HERE. THE CONTRACTOR WILL BE RESPONSIBLE TO DETERMINE IF OTHER ITEMS WILL NEED TO BE REMOVED OR MODIFIED TO COMPLETE THE NEW WORK.
- DASHED LINES ON DEMOLITION DRAWINGS INDICATE ITEMS TO BE REMOVED.
- OWNER RESERVES THE RIGHT OF REFUSAL ON ALL PRODUCTS BEING REMOVED. CONTRACTOR TO DISPOSE OF ALL PRODUCTS REFUSED.
- ITEMS INDICATED TO BE REMOVED (AND NOT SAVED) SHALL BE DISPOSED OFF SITE AS REQUIRED BY LOCAL, STATE, AND FEDERAL LAWS. THE CONTRACTOR SHALL OBTAIN NECESSARY DEMOLITION PERMITS PRIOR TO ANY DEMOLITION WORK.
- NO HAZARDOUS MATERIAL IS KNOWN TO BE PRESENT IN THE JOB SITE. IF HAZARDOUS MATERIAL IS ENCOUNTERED, CONTRACTOR SHALL IMMEDIATELY CEASE THE WORK IN THE AREA, SECURE THE INVOLVED AREA TO PREVENT UNOVERTENT CONTAMINATION OR EXPOSURE AND NOTIFY THE DESIGNER AND OWNER.
- CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION WHICH IS TO REMAIN OR INDICATED TO BE SALVAGED. ANY DAMAGE WITHIN THE LIMITS OF CONSTRUCTION MUST BE REPAIRED AS DESCRIBED IN THE DOCUMENTS. NOTIFY ARCHITECT IMMEDIATELY OF ANY SIGNIFICANT EXISTING DAMAGE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS, INCLUDING REQUIRED DEMOLITION OF THE BUILDING & ITS CONTENTS, ACCOMMODATION OF DEMOLITION REMOVAL, AND NEW CONSTRUCTION SCOPE OF WORK. ADDITIONALLY, THESE DRAWINGS MAY NOT INCLUDE ALL EXISTING CONDITIONS WHICH MAY AFFECT THE WORK OF THIS CONTRACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES NO LESS THAN 72 HOURS BEFORE THE START OF WORK AFFECTED BY SUCH DISCREPANCY.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL OF THE DEMOLITION AREA.
- PROVIDE INTERIOR SHORING, BRACING, OR SUPPORT AS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR DAMAGE TO STRUCTURES TO BE DEMOLISHED.
- EXISTING WALLS AND CONSTRUCTION SHALL BE REMOVED IN THEIR ENTIRETY TO EXTENT INDICATED ON THE DRAWINGS AND AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. WHERE WALLS AND PARTITIONS ARE INDICATED TO BE DEMOLISHED, REMOVE ALL FRAMING, SUB-FRAMING, INSULATION, SUBSTRATE, WALL BOARD, PANELING AND TRIM AS APPLICABLE.
- REFER TO STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL SCOPE OF DEMOLITION WORK. COORDINATE ALL DEMOLITION WITH FINAL DESIGN.
- REMOVE MECHANICAL, ELECTRICAL AND PLUMBING FIXTURES, EQUIPMENT, AND DISTRIBUTION SYSTEMS TO THE EXTENT INDICATED AND AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- PATCHING IS REQUIRED WHERE DEMOLITION OF ARCHITECTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND STRUCTURAL SYSTEMS LEAVES HOLES, VOIDS, OR UNFINISHED CONDITIONS AT FINISHED WALLS, FLOORS, AND CEILINGS. FILL ALL EXISTING CONCRETE FLOOR AND CONCRETE WALL PENETRATIONS RESULTING FROM PIPING AND CONDUIT REMOVAL WITH NON-SHRINK GROUT, READY TO RECEIVE FINAL FLOOR OR WALL FINISH.
- REPAIR EXISTING CONCRETE FLOOR SLABS AND PATCH, LEVEL AND REPAIR FLOOR SLABS AS REQUIRED FOR INSTALLATION OF NEW FLOORING.
- PATCH AND REPAIR EXISTING SLAB. FOR CRACKS OTHER THAN THOSE DETERMINED TO BE HAIRLINE CRACKS (0.01 INCH), SAW CUT THE FULL LENGTH TO RECEIVE CAULK, FILL W/BACKER ROD & SILICONE SEALANT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EXTRANEIOUS HANGERS, CONDUITS, AND OTHER ITEMS THAT HAVE BEEN ABANDONED.

GENERAL NOTES - CEILING PLAN

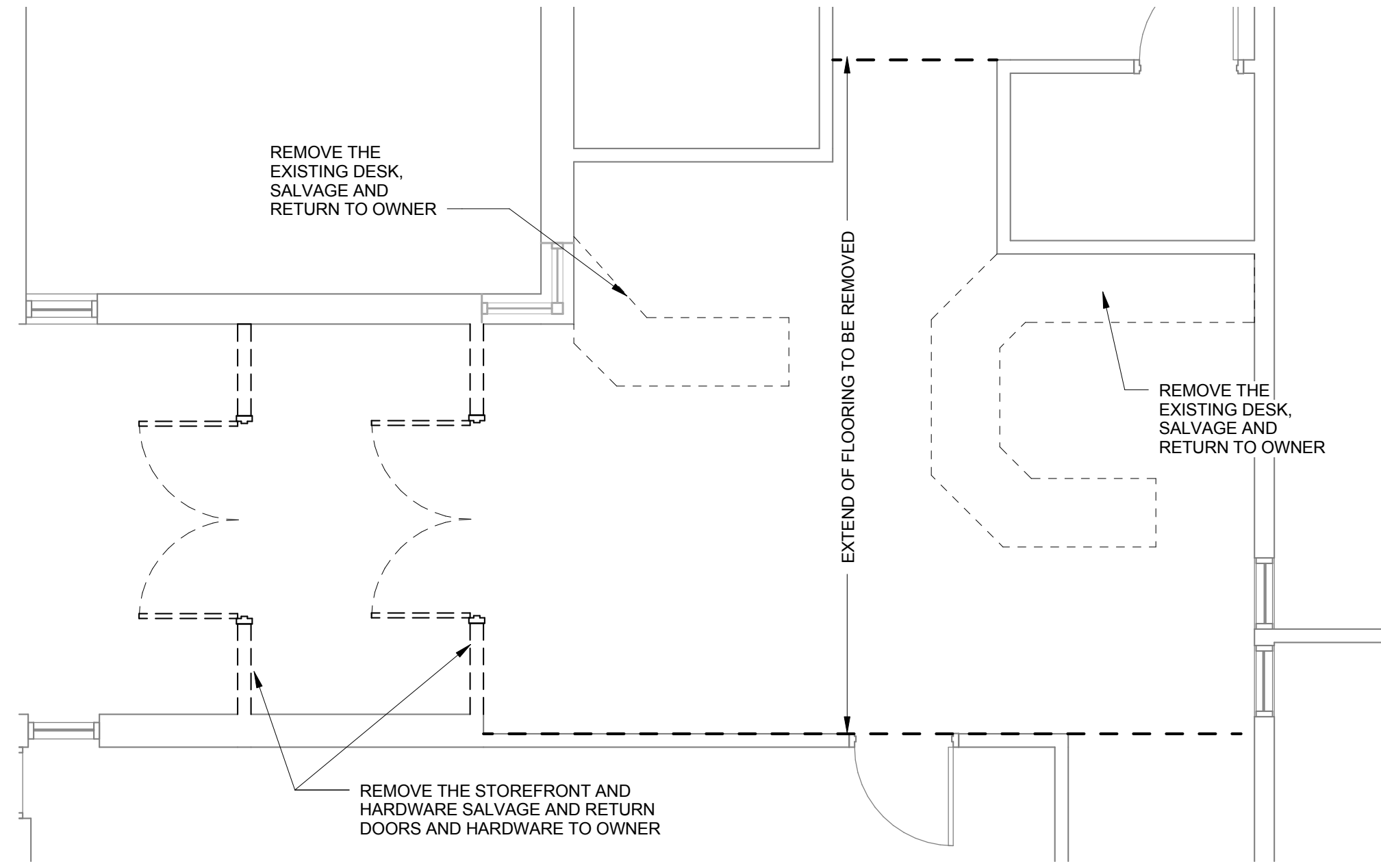
- ALL CEILING HEIGHTS ARE RELATIVE TO FINISH FLOOR ELEVATION UNLESS OTHERWISE NOTED.
- NEW CEILING HEIGHT TO MATCH EXISTING CEILING HEIGHTS.
- ALL NEW CEILING FIXTURES ARE TO HAVE WHITE TRIM OR COVERS U.N.O.
- ALL CEILINGS ARE TO BE INSTALLED AS REQUIRED BY ASCE 7.05 CHAPTER 13 SEISMIC DESIGN FOR NONSTRUCTURAL COMPONENTS AND ANCHORED PER NCSBC SECTION 1621.

CEILING TYPES:

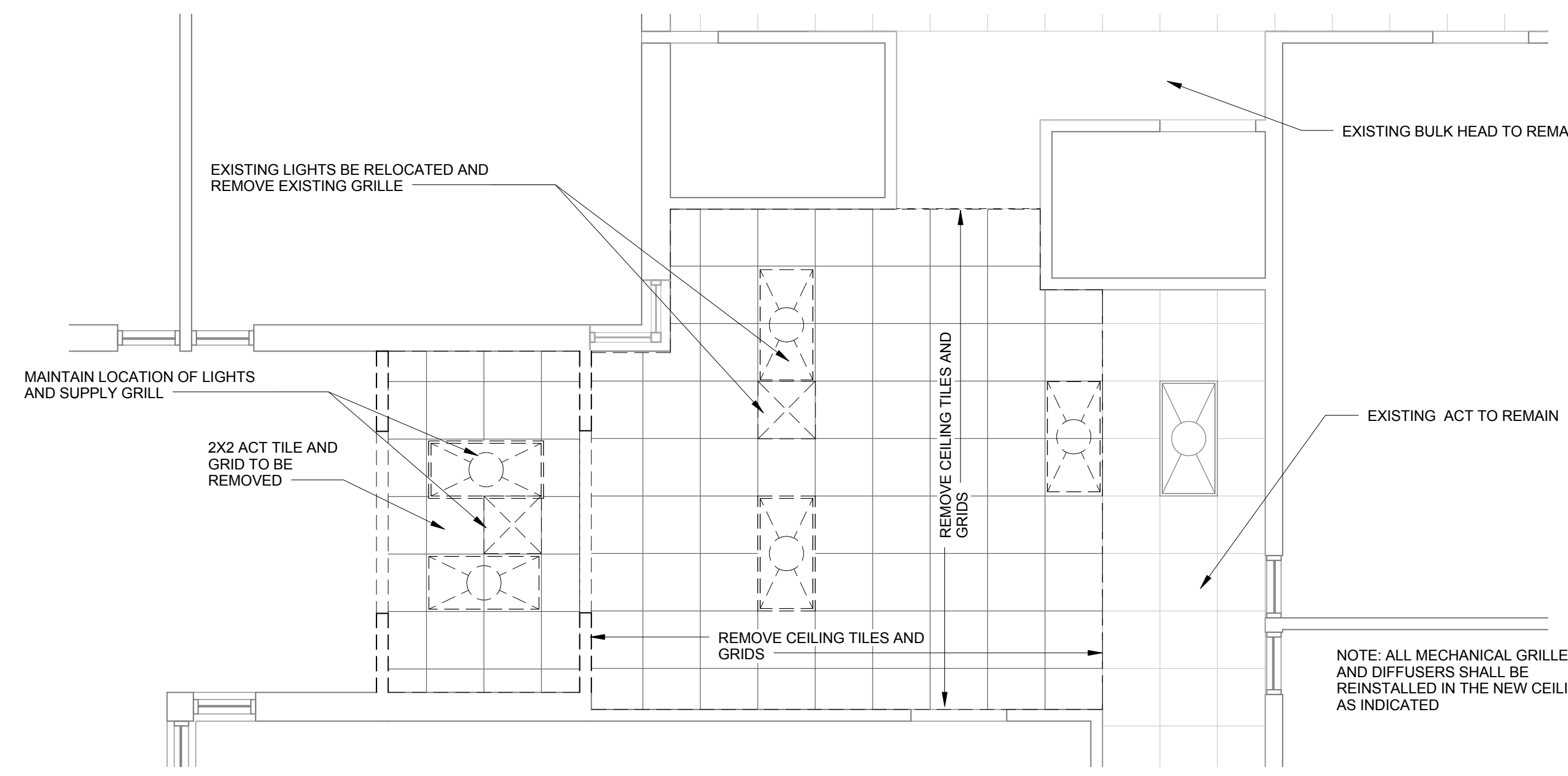
- TYPE #1: NEW ACT-1: 24"x24"x5/8" LAY-IN ACOUSTICAL CEILING - WHITE
 TYPE #2: GYPSUM BOARD CEILING/SOFFIT - PAINTED P-2
 A CEILING HEIGHT TO MATCH EXISTING, FIELD VERIFY
 B BULKHEADS HEIGHT TO MATCH EXISTING, FIELD VERIFY

LEGEND:

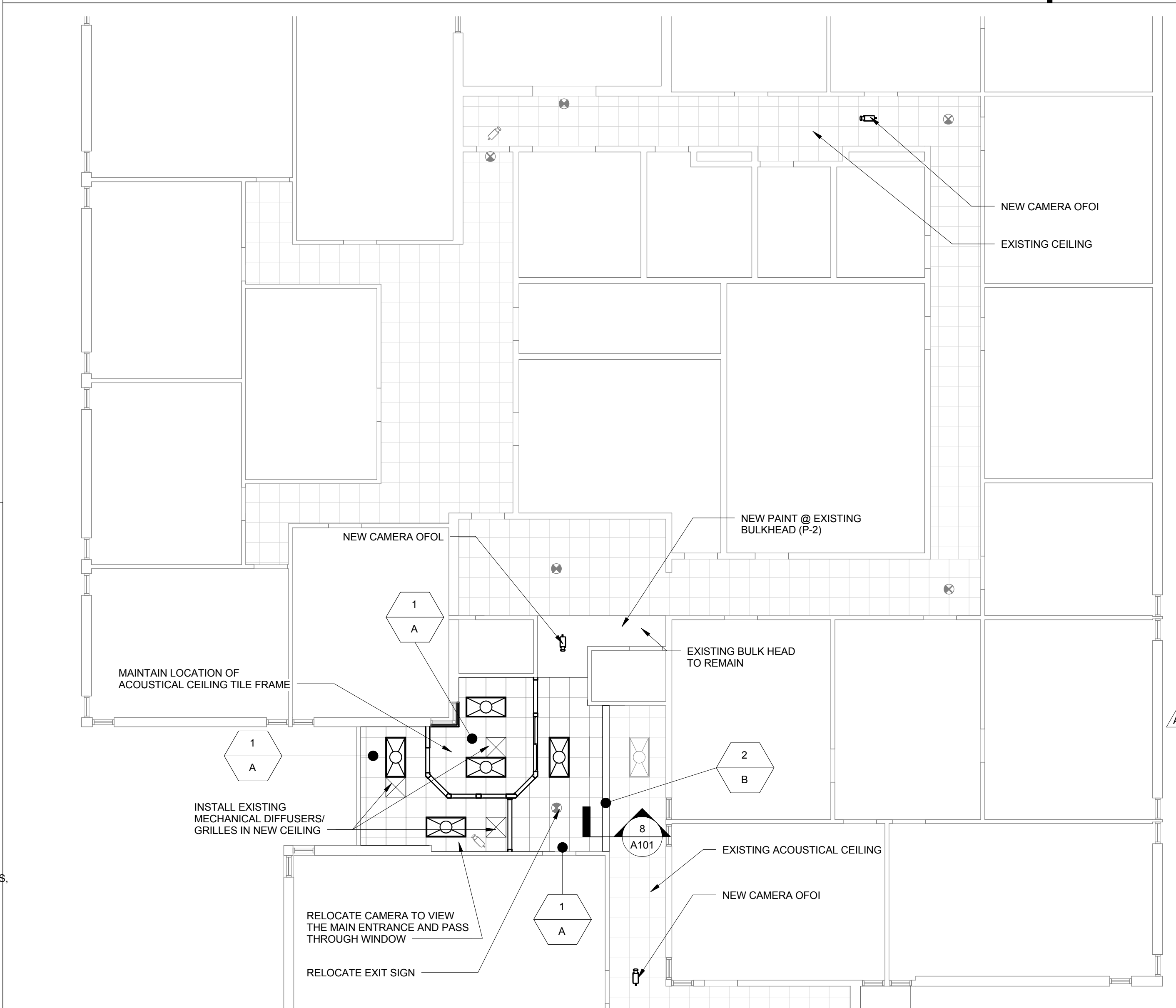
- 1 CEILING TYPE
- 8'-4" CEILING HEIGHT-FROM FINISH FLOOR
- NEW 2x4' FLUORESCENT LIGHT FIXTURE AS REQ'D. SEE ELEC. DWGS. FOR LENS TYPES.
- EXISTING 2x4' FLUORESCENT LIGHT FIXTURE - REUSE THE EXISTING LIGHT FIXTURE TO NEW LOCATION
- EXISTING EXIT LIGHT-CEILING MOUNTED
- NEW 2x2 HVAC EXHAUST GRILLE-SEE MECH. DRAWINGS
- EXISTING 2x2 HVAC EXHAUST GRILLE
- NEW CEILING MOUNTED CAMERA, SEE ELEC. DRAWINGS
- EXISTING CEILING MOUNTED CAMERA



DEMOLITION PLAN 1/4" = 1'-0" 7



DEMOLITION REFLECTED CEILING PLAN 1/4" = 1'-0" 6



REFLECTED CEILING PLAN 1/8" = 1'-0" 5

ROOM FINISH SCHEDULE

ROOM NUMBER	NAME	FLOOR FINISH	BASE FINISH	TRIM	DOOR	WALLS		MILLWORK		COMMENTS
						WALL FINISH	ACCENT WALL	COUNTERTOP	CABINET FRONT BASE	
100	VEST / WAITING	PT-1	B-1	--	--	P-1	--	--	--	
101	RECEP.	CPT-1	B-1	--	--	P-1	--	PL-1	PL-1	
102	WAITING	PT-1	B-1	--	--	P-1	--	--	--	

INTERIOR FINISH LEGEND

FINISH CODE	MANUFACTURER	PRODUCT NAME	PRODUCT NUMBER	COLOR	SIZE / WIDTH	DESCRIPTION	REMARKS
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FLOOR BASE

B-1	JOHNSONITE	RUBBER BASE	STANDARD	TO MATCH EXISTING	4" H	-	-
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FLOORING

CPT-1	SHAW CONTRACT GROUP	BRIGHT WORKS	ALLURE 59327	STARLIGHT 27504	24" X 24"	-	-
PT-1	FLORIDA TILE	LEVEL 10	MEZZANINE GOLD	FT13334112X24	12" x 24"	UNGLAZED	-

WALLS

P-1	SHERWIN WILLIAMS	PAINT	TO MATCH EXISTING	TO MATCH EXISTING		STANDARD WALL PAINT	WALL
P-2	SHERWIN WILLIAMS	PAINT	TO MATCH EXISTING	TO MATCH EXISTING		STANDARD WALL PAINT	BULKHEAD
P-3	SHERWIN WILLIAMS	EXTERIOR RAIL PAINT					
P-3	SHERWIN WILLIAMS	HM FRAME PAINT					

SURFACES

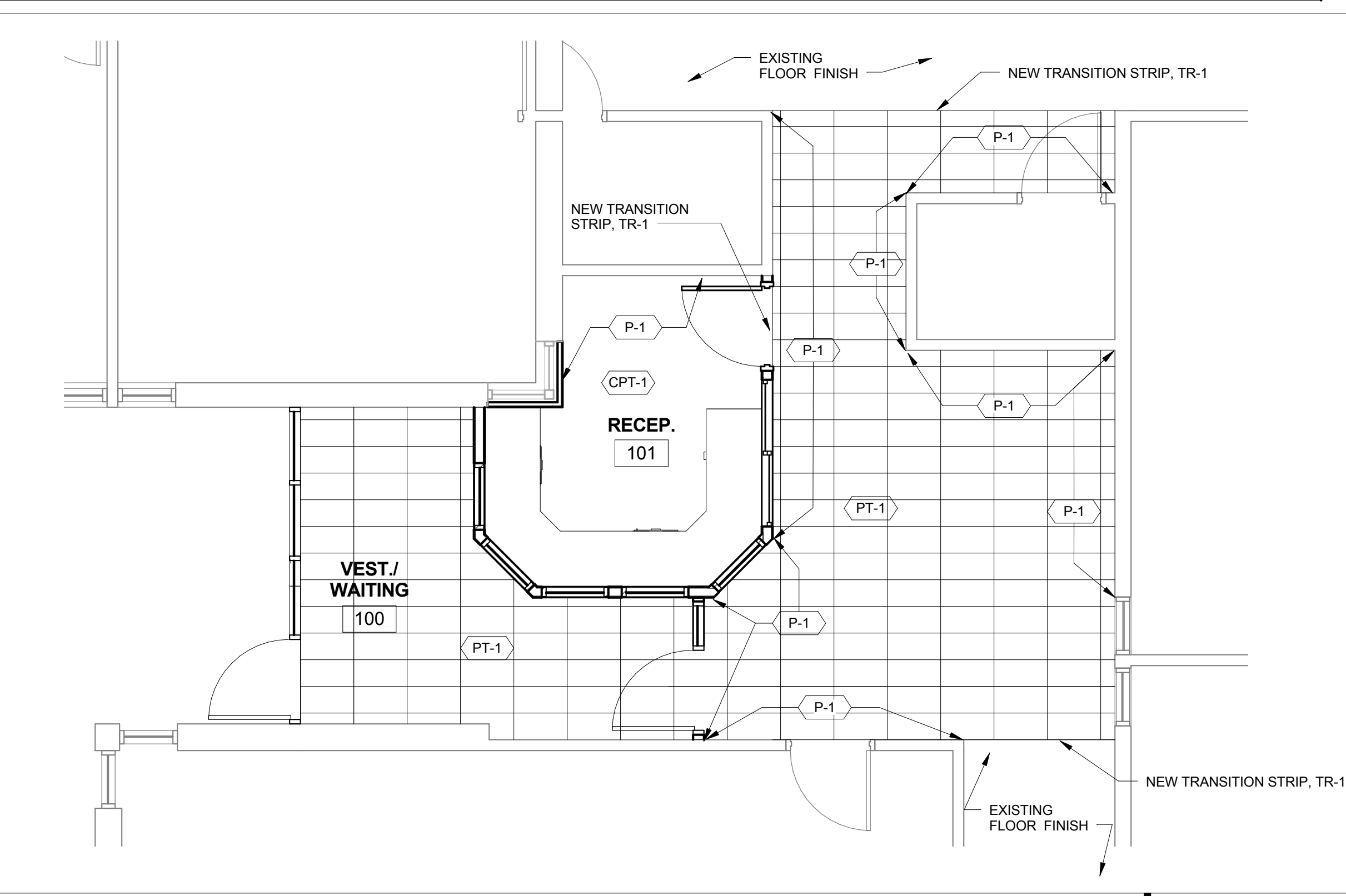
PL-1	WILSONART	STANDARD FINISH LAMINATE	10745-60	FONTHILL PEAR	-	COUNTER TOPS	-
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MISCELLANEOUS

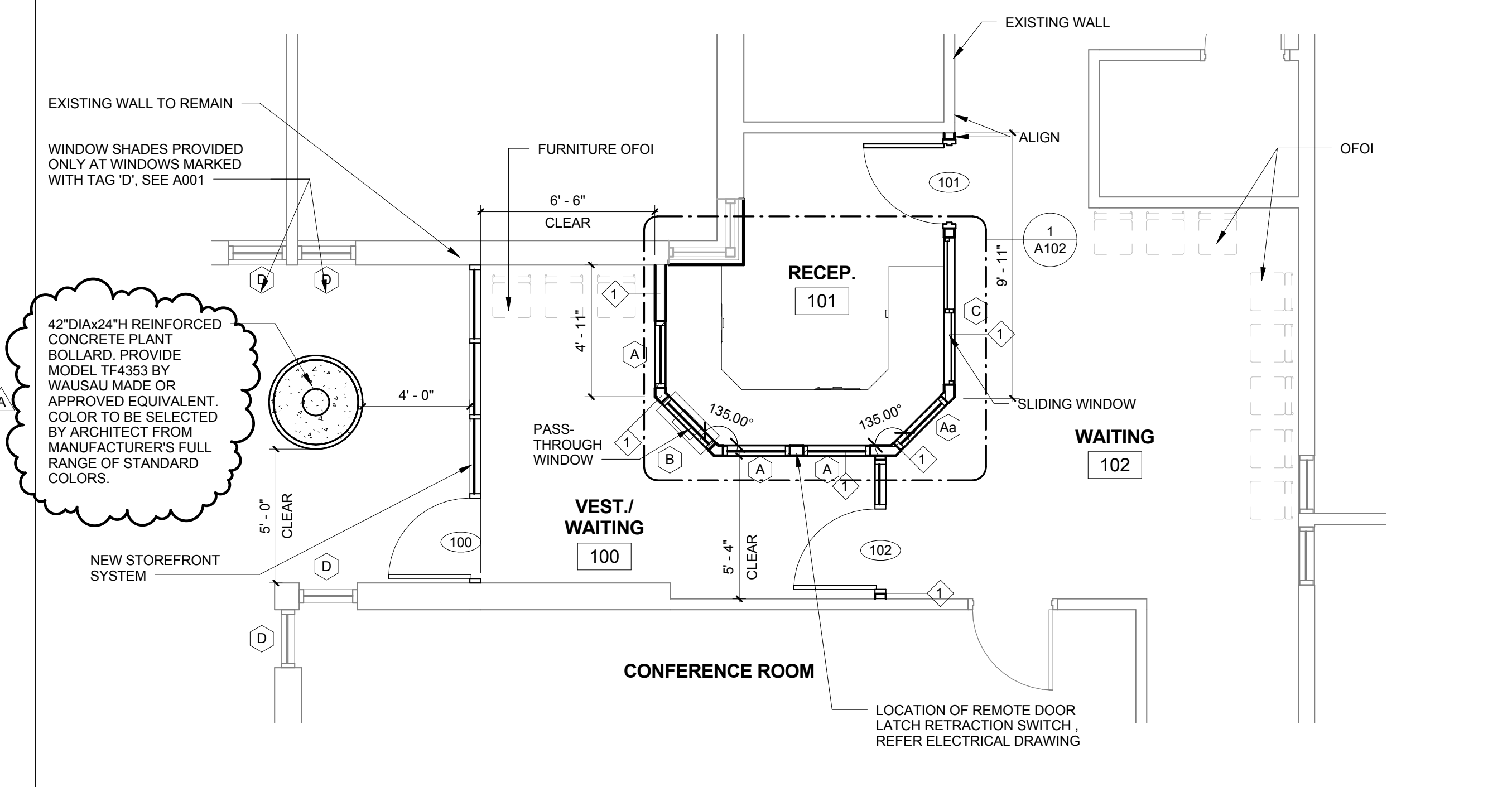
TR-1		TRANSITION STRIP					
HB-1		FABRIC WINDOW SHADES					SPEC-12 24 13

NOTES

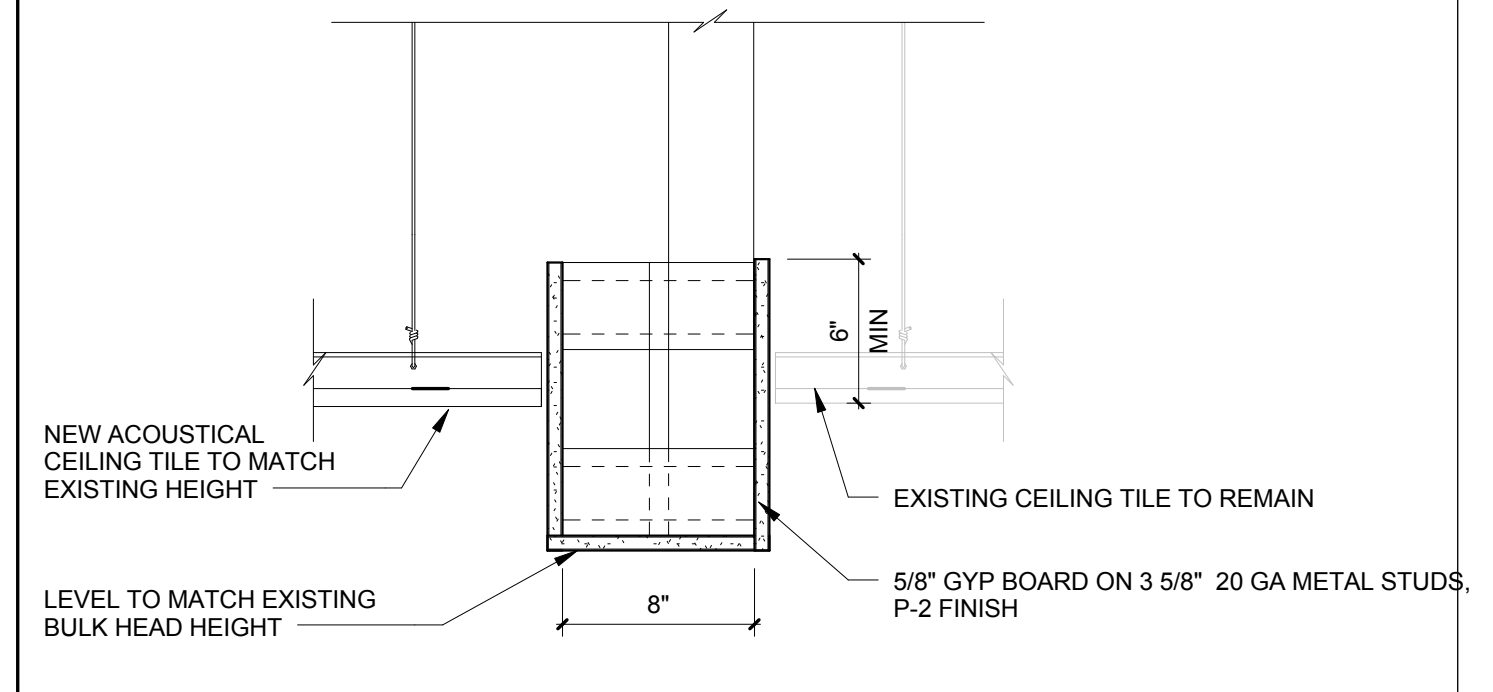
- REFER TO INTERIOR SECTIONS, ELEVATIONS, DETAILS AND REFLECTED CEILING PLAN FOR COORDINATION AND ADDITIONAL INFORMATION (SEE COVER INDEX AND/OR SHEET SERIES)
- ALL INTERIOR FINISHES SHALL COMPLY WITH NCSBC CHAPTER 8, TABLE 803.9, AND SECTION 1210
-
- PROVIDE TRANSITION STRIPS AT ALL FLOORING MATERIAL TRANSITIONS. STANDARD TRANSITION FROM TILE IS SCHLUTER, AND ALL OTHER MATERIALS IS JOHNSONITE. PROFILE AND COLOR MUST BE SUBMITTED FOR APPROVAL.
- VERIFY AND COORDINATE FINISHES ON SCHEDULE WITH MILLORK DETAILS
- INTERIOR FINISHES COMPLY WITH FBC TABLE 803.5
 A. EXIT ENCLOSURES AND EXIT PASSAGEWAYS: CLASS B
 B. CORRIDORS: CLASS B



RECEPTION FINISH FLOOR PLAN 1/4" = 1'-0" 2



RECEPTION ENLARGED FLOOR PLAN 1/4" = 1'-0" 1



BULK HEAD DETAIL, TYP. 5/A101 1 1/2" = 1'-0" 8

**NCDOT
 DIVISION OF
 HIGHWAYS,
 DIVISION 10
 OFFICE
 SECURITY
 UPGRADES**

716 WEST MAIN STREET
 ALBEMARLE, NC 28001

CONSTRUCTION DOCUMENTS
 SCO #16-15785-01A

FLOOR PLANS

DATE: 08-26-16
 PROJECT NO: 16020.00

REVISIONS
 NO: DATE: DESCRIPTION:
 A 03.28.17 ADDENDUM #1

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SHEET NUMBER

A101

DOOR #	ROOM NAME	RATING	ELEVATION	DOOR					FRAME			HARDWARE			REMARKS		
				SIZE			FINISH	MATERIAL	TYPE	MATERIAL	HEAD	JAMB	SILL	CLOSER		PANIC	SET
				WIDTH	HEIGHT	THICKNESS											
100	VEST / WAITING	--	4	3'-0"	7'-0"	1 3/4"	AL	AL	F3	AL	H2	J2		Yes	Yes	YES	
101	RECEP.	--	1	3'-0"	7'-0"	1 3/4"	WD	WD	F1	AL	H1	J1		No	No	YES	DOOR FINISH TO MATCH EXISTING
102	WAITING	--	2	3'-0"	7'-0"	1 3/4"	AL	AL	F2	AL	H1	J1		Yes	Yes	YES	CARD READER, MAGNETIC LOCK

