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NC DEPT. OF INSURANCE
2012 APPENDIX B BUILDING CODE SUMMARY

NC

Name Of Project: **CHEROKEE COUNTY REST AREA**
 Address: **US 19 & COVER STREET, ANDREWS, NC**
 Proposed Use: **RESTROOM BUILDING**
 Owner Or Authorized Agent: **Weeks Turner Architecture** Phone: (919) 779-9797
 E-mail: **ganderson@weeksturner.com**
 Owned By: City/County Private State
 Code Enforcement Jurisdiction: City County State

LEAD DESIGN PROFESSIONAL: WEEKS TURNER ARCHITECTURE, PA

DESIGNER	FIRM	NAME	LIC. #	TELEPHONE	E-MAIL
Architectural:	Weeks Turner Architecture	Ginger S. Anderson	11075	(919) 779-9797	ganderson@weeksturner.com
Civil:					
Electrical:	Burke Design Group	Benjamin E. Burke	22038	(919) 771-1916	benburke@nc.rr.com
Fire Alarm:					
Plumbing:	Burke Design Group	Benjamin E. Burke	22038	(919) 771-1916	benburke@nc.rr.com
Mechanical:	Burke Design Group	Benjamin E. Burke	22038	(919) 771-1916	benburke@nc.rr.com
Sprinkler - Standpipe:					
Structural:					
Retaining Walls > 5' High:					
Other:					

2012 EDITION OF NC CODE FOR: New Construction Addition Upfit
 Reconstruction Alteration Repair
EXISTING: 1990 **ORIGINAL USE RESTROOMS** **PROPOSED USE** RESTROOMS
CONSTRUCTED **CURRENT USE RESTROOMS** **RENOVATED**

BUILDING DATA

CONSTRUCTION TYPE: I-A II-A III-A IV V-A
 I-B II-B III-B IV-B

MIXED CONSTRUCTION: NO YES TYPES: _____

SPRINKLERS: NO PARTIAL YES NFPA 13 NFPA 13R NFPA 13D

STANDPIPES: NO YES CLASS I II III WET DRY

FIRE DISTRICT: NO YES **FLOOD HAZARD AREA:** NO YES

BUILDING HEIGHT: 16 FEET **NUMBER OF STORIES:** 1

MEZZANINE: NO YES

GROSS BUILDING AREA	EXISTING (SF)	NEW (SF)	SUB-TOTAL	TENANT
3RD FLOOR	---	---	---	---
2ND FLOOR	---	---	---	---
MEZZANINE (mech)	---	178	178	---
1ST FLOOR	1,130	56	1,186	---
BASEMENT	---	---	---	---
TOTAL	1,130	412	1,364	--- SF

ALLOWABLE AREA:

PRIMARY OCCUPANCY:

ASSEMBLY A-1 A-2 A-3 A-4 A-5
 BUSINESS
 EDUCATIONAL
 FACTORY-INDUSTRIAL F-1 Moderate F-2 Low F-3 High Hazard F-4 Health F-5 HPM
 HIGH-HAZARD H-1 Detonate H-2 Deflagrate
 INSTITUTIONAL I-1 I-2 I-3 I-4 I-5
 CONDITION 1 2 3 4 5

MERCANTILE
 RESIDENTIAL R-1 R-2 R-3 R-4
 STORAGE S-1 Moderate S-2 Low HIGH-PILED
 UTILITY AND MISC PARKING GARAGE OPEN ENCLOSED REPAIR

SECONDARY OCCUPANCY: STORAGE (S-1)

SPECIAL OCCUPANCY: 402 403 404 405 406 407 408 409 410 411
 412 413 414 415 416 417 418 419 420 421

SPECIAL PROVISIONS: 508.2 508.3 508.4 508.5 508.6 508.7 508.8

MIXED OCCUPANCY: NO YES SEPARATION: --- HR. EXCEPTION: ---

Incidental Use Separation (508.2)
 This separation is not exempt as a Non-Separated Use (see exceptions)

Non-separated Mixed Occupancy (508.3.2)
 The Required Type Of Construction For The Building Shall Be Determined By Applying The Height And Area Limitations For Each Of The Applicable Occupancies To The Entire Building. The Most Restrictive Type Of Construction, So Determined, Shall Apply To The Entire Building

Separated Mixed Occupancy (508.3.3) - See Below For Area Calc.
 For Each Story, The Area Of The Occupancy Shall Be Such That The Sum Of The Ratios Of The Actual Floor Area Of Each Use Divided By The Allowable Floor Area For Each Use Shall Not Exceed 1.

STORY NO.	DESCRN AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 503.3 AREA	(C) AREA FOR OPEN SPACE INCREASE 1	(D) AREA FOR SPRINKLER INCREASE 2	(E) ALLOWABLE AREA OR UNLIMITED 3	(F) MAXIMUM BUILDING AREA 4
1	BUSINESS	1,186 sf	9,000	6,750	---	15,750	31,500
1	STORAGE	---	9,000	6,750	---	15,750	15,750
---	---	---	---	---	---	---	---

- Open Space Area Increases From Section 506.2 Are Competed Thus:
 - Perimeter Which Fronts A Public Way Or Open Space Having 20 Ft Min. Width = 198 (F).
 - Total Building Perimeter = 198 (P).
 - Ratio (F/P) = 1 (F/P).
 - W = Minimum Width Of Public Way = 30 (W).
 - Percent Of Frontage Increase If = 100 [F/P - 0.25] X W/30 = 75 (%).
- The Sprinkler Increase Per Section 506.3 Is As Follows:
 - Multi-story Building Is = 200 %
 - Single Story Building Is = 300%
- Unlimited Area Applicable Under Conditions Of Sections Group B, F, M, S, A-4 (507); Group A Motion Picture (507.9); Malls (402.6); And H-2 Aircraft Paint Hangers (507.7)
- Max. Building Area = Total No. Of Stories In The Building X E But Not Greater Than 3 X E. (506.4)
- The Maximum Area Of Parking Garages Must Comply With 406.3.5. The Maximum Area Of Air Traffic Control Towers Must Comply With 412.1.2.

ALLOWABLE HEIGHT

TYPE OF CONSTRUCTION: TYPE VB

	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
BUILDING HEIGHT IN FEET	40 (FT)	--- (H +20')	16 (FT)	---
BUILDING HEIGHT IN STORIES	1 (STORIES)	--- (STORIES + 1)	1 (STORIES)	---

NC DEPT. OF INSURANCE
2012 APPENDIX B BUILDING CODE SUMMARY

CONTINUED

BUILDING ELEMENT	FIRE PROTECTION REQUIREMENTS		LIFE SAFETY PLAN SHEET # (IF PROVIDED)		DES. # FOR RATED ASSY	DES. # FOR RATED PENETN	DES. # FOR RATED JOINTS
	FIRE SEPN DIST. (FT)	RATING REQ'D	RATING PROV'D (W/----* REDUCTION)	DETAIL # AND SHEET #			
STRUCTURAL FRAME INCLUDING COLUMNS GIRDERS, TRUSSES BEARING WALLS	---	0	---	---	---	---	---
EXTERIOR							
NORTH	MORE THAN 30'	0	---	---	---	---	---
EAST	MORE THAN 30'	0	---	---	---	---	---
WEST	MORE THAN 30'	0	---	---	---	---	---
SOUTH	MORE THAN 30'	0	---	---	---	---	---
INTERIOR							
NONBEARING WALLS AND PARTITIONS							
EXTERIOR							
NORTH	---	---	---	---	---	---	---
EAST	---	---	---	---	---	---	---
WEST	---	---	---	---	---	---	---
SOUTH	---	---	---	---	---	---	---
INTERIOR WALL & PARTITIONS	---	---	---	---	---	---	---
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	---	---	---	---	---	---	---
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	---	0	---	---	---	---	---
SHAFTS ENCLOSURES-EXIT	---	---	---	---	---	---	---
SHAFTS ENCLOSURES-OTHER	---	---	---	---	---	---	---
CORRIDOR SEPARATION	---	---	---	---	---	---	---
OCCUPANCY SEPARATION	---	---	---	---	---	---	---
PARTY/FIRE WALL SEPARATION	---	---	---	---	---	---	---
SMOKE BARRIER SEPARATION	---	---	---	---	---	---	---
TENANT SEPARATION	---	---	---	---	---	---	---
INCIDENTAL USE SEPARATION	---	---	---	---	---	---	---

*INDICATE SECTION NO. PERMITTING REDUCTION

LIFE SAFETY SYSTEM REQUIREMENTS

EMERGENCY LIGHTING: YES NO SMOKE DETECTION SYSTEMS: YES NO
 EXIT SIGNS: YES NO PANIC HARDWARE: YES NO
 FIRE ALARM: YES NO

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: A0.2

Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Existing structures within 30 feet of the proposed building
 Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.1)
 Occupant loads for each area
 Exit access travel distances (1016)
 Common path of travel distances (1014.3 & 1028.8)
 Dead end lengths (1018.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancyseparation
 Location of doors with panic hardware (1008.1.10)
 Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)
 Location of doors with electromagnetic egress locks (1008.1.9.8)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1029)
 The square footage of each fire area (902)
 The square footage of each smoke compartment (407.4)
 Note any code exceptions or table notes that may have been utilized regarding the items above

DESIGN LOADS: SEE SHEET S0.1

BUILDING OCCUPANCY CATEGORY	II
ROOF DEAD LOAD	12 PSF
ROOF LIVE LOAD	20 PSF
CEILING DEAD LOAD	10 PSF
CEILING LIVE LOAD (Maint. Access - NO storage)	5 PSF
FLOOR LIVE LOAD (Uniform)	100PSF
FLOOR LIVE LOAD (Concentrated)	2000 LBS
SNOW LOAD DATA:	
GROUND SNOW LOAD	15 PSF
SNOW EXPOSURE FACTOR	1.0
SNOW LOAD IMPORTANCE FACTOR	1.0
THERMAL FACTOR	1.1
FLAT ROOF SNOW LOAD	15 PSF
ROOF SLOPE FACTOR	1.0
PITCHED ROOF SNOW LOAD	11.6
WIND LOAD DATA:	
DESIGN WIND SPEED (ASCE 7-05)	100 MPH
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE	B
INTERNAL PRESSURE COEFFICIENTS	+0.18, -0.18
NBL BUILDING:	
WIND BASE SHEAR (x-x DIRECTION)	12.8 KIPS
WIND BASE SHEAR (y-y DIRECTION)	14.9 KIPS
CORNER ZONE BOUNDARY DIST. "a" FOR C/C WIND	4.3 FT

SEE SHEET S0.1 FOR WIND PRESSURE & SEISMIC LOAD DATA

PLUMBING FIXTURE REQUIREMENT

USE: BUSINESS 1,186 SF/100 = 12 PEOPLE

REQUIRED	WATERCLOSETS		LAVATORIES		FAMILY RESTROOM		DRINKING FOUNTAINS	
	MALE	FEMALE	MALE	FEMALE	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE
PROVIDED	2	4	2	2	1	1	1	1

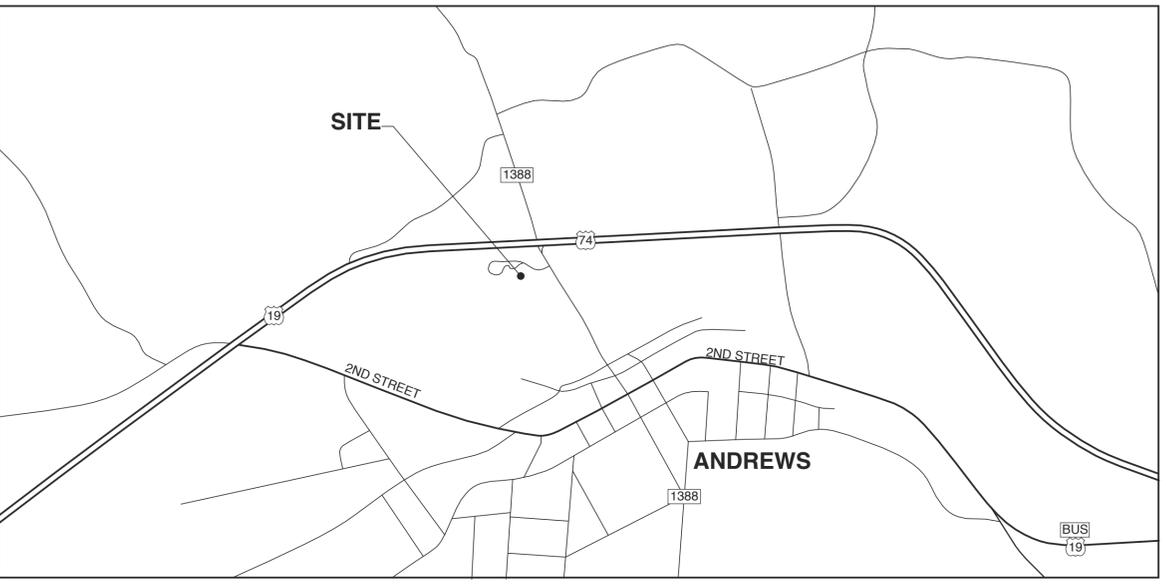
ACCESSIBLE PARKING **EXISTING PARKING TO REMAIN**

LOT OR PARKING AREA	TOTAL # OF SPACES REQ'D	# OF SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE PROVIDED
			REG. WITH 5' VAN SPACES WITH ACCESS AISLE	8' ACCESS AISLE	
---	---	---	---	---	---
TOTAL	---	---	---	---	---

CHEROKEE COUNTY REST AREA

US 19 ANDREWS, NC

STATE ID# 16-16033-01A
 WBS ELEMENT 51213.011



1 VICINITY MAP
 SCALE: NTS

GENERAL NOTES

I: FOR THIS PROJECT:

A) THE ARCHITECT'S SCOPE OF WORK DOES INCLUDE CONSTRUCTION OBSERVATION.
 THE CONTRACTOR IS IN CHARGE OF THE WORK AND COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT WILL BEAR NO RESPONSIBILITY FOR FAILURE OF THE CONTRACTOR TO FULLY COMPLY WITH ALL CONSTRUCTION DOCUMENTS.
 USE OF THESE CONTRACT DOCUMENTS WILL CONSTITUTE AGREEMENT BY THE CONTRACTOR TO THESE CONDITIONS.

B) "THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF THE BUILDINGS" OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A-201, LATEST EDITION, ARE HEREBY MADE PART OF THE CONTRACT DOCUMENTS. IN THE EVENT OF A CONFLICT, THESE GENERAL NOTES AND CONTRACT SUPERSEDE "AIA DOCUMENT A-201".

II: ALL WORK UNDER THIS CONTRACT SHALL:

A) CONFORM TO STATE, LOCAL AND NATIONAL CODES AND ORDINANCES AS ARE APPLICABLE TO THE WORK INCLUDING BUT NOT LIMITED TO THE NORTH CAROLINA STATE BUILDING CODE, THE AMERICANS WITH DISABILITIES ACT (ADA), NATIONAL ELECTRIC CODES, ASTM SPECIFICATIONS, AND OSHA SAFETY REGULATIONS.

B) COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION (EPA). THE COST OF ALL REQUIRED INSPECTIONS AND PERMITS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

III: UNLESS OTHERWISE DIRECTED BY THE ARCHITECT, THE CONTRACTOR SHALL:

A) SUPPLY AND PAY FOR ALL LABOR, TRANSPORTATION, MATERIALS, TOOLS, APPARATUS, LIGHTS, POWER, HEAT, SANITARY FACILITIES, WATER, SCAFFOLDING, AND INCIDENTALS NECESSARY FOR THE COMPLETION OF HIS WORK.

B) INSTALL, MAINTAIN AND REMOVE ALL EQUIPMENT, OTHER UTENSILS OR THINGS USED FOR THE CONSTRUCTION PRIOR TO TURNING OVER THE PROJECT. IF SUCH ITEMS ARE LEFT AFTER COMPLETION OF THE PROJECT, THEY SHALL BECOME PROPERTY OF THE OWNER. THE OWNER MAY PROMPTLY DISPOSE OF SUCH ITEMS, AND WILL NOT BE SUBJECT TO CLAIMS OF THE CONTRACTOR RESULTING FROM SUCH DISPOSITION.

C) CONSTRUCT IN THE BEST AND PROFESSIONAL MANNER, A COMPLETE JOB AND EVERYTHING INCIDENTAL THERETO, AS SHOWN OR REASONABLY IMPLIED FROM THE PLANS. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

D) VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES DISCOVERED OR LACK OF REQUIRED INFORMATION TO REQUEST CLARIFICATION. IF THE CONTRACTOR OBSERVES THE CONTRACT DOCUMENTS TO BE CONTRARY TO GOVERNING LAWS, ORDINANCES, CODES, RULES AND REGULATIONS OR OTHERWISE QUESTIONABLE CONDITIONS, HE SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING FOR INSTRUCTIONS PRIOR TO PROCEEDING WITH THE WORK.

E) KEEP THE BUILDING AND SURROUNDING AREA REASONABLY FREE FROM RUBBISH AT ALL TIMES. AT A MINIMUM, DEBRIS SHALL BE REMOVED FROM THE SITE ON A WEEKLY BASIS OR AS DIRECTED BY PROJECT EXPEDITER.

F) LOCATE ALL EXISTING UTILITIES. THE CONTRACTOR MAY NOT INTERFERE WITH ADJACENT UTILITIES UNLESS PRIOR NOTICE AND PERMISSION IS RECEIVED FROM THOSE WHO MAY AS A RESULT OF THIS INTERFERENCE BE AFFECTED.

G) PRIOR TO ANY WORK, CALL "NC ONE CALL CENTER" @ 800-632-4949 AND OTHER LOCATING SERVICES AS TO CONFIRM LOCATION OF UTILITIES.

H) PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF THE BUILDING, EACH CONTRACTOR SHALL CLEAN HIS PORTION OF THE WORK, INCLUDING GLASS, HARDWARE FIXTURES, MASONRY, TILE AND MARBLE (USING NO ACID), CLEAN AND WAX ALL FLOORS AS SPECIFIED, AND COMPLETELY PREPARE THE BUILDING FOR USE BY THE OWNER.

I) FILE WITH THE OWNER CURRENT INSURANCE CERTIFICATIONS IN THE AMOUNTS REQUESTED BY THE OWNER FOR BUILDER'S RISK, WORKMEN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THIS INSURANCE SHALL INDEMNIFY THE OWNER AND THE ARCHITECT OF ANY AND ALL COSTS, CLAIMS, SUITS AND JUDGEMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY (INCLUDING GENERAL) ARISING OUT OF THE CONTRACTOR'S ACTIONS.

J) PROVIDE ALL NECESSARY SAFETY MEASURES FOR THE PROTECTION OF ALL PERSONS OF THE WORK, INCLUDING THE REQUIREMENTS OF THE A.G.C. ACCIDENT PREVENTION MANUAL IN CONSTRUCTION AS AMENDED, AND SHALL FULLY COMPLY WITH ALL STATE LAWS OR REGULATIONS AND NORTH CAROLINA STATE BUILDING CODE REQUIREMENTS TO PREVENT ACCIDENT OR INJURY TO PERSONS ON OR ABOUT THE LOCATION OF THE WORK.

K) CLEARLY MARK OR POST SIGNS WARNING OF HAZARDS EXISTING, AND BARRICADE EXCAVATIONS, ELEVATOR SHAFTS, STAIRWELLS AND SIMILAR HAZARDS. PROTECT AGAINST DAMAGE OR INJURY RESULTING FROM FALLING MATERIALS AND MAINTAIN ALL PROTECTIVE DEVICES AND SIGNS THROUGHOUT THE PROGRESS OF THE WORK

WEEKS TURNER ARCHITECTURE

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 3305-109 Durham Drive
 Raleigh, North Carolina 27603
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 www.weeksturner.com



DocuSigned by:
 Ginger S. Anderson
 10/19/2016

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- A0.2 LIFE SAFETY
- A0.3 SITE PLAN - DEMO
- A0.4 SITE PLAN - REVISED
- A1.1 DEMO PLAN
- A1.2 REVISED FLOOR PLAN
- A1.3 RAMP DEMO
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- A1.5 ROP & ROOF PLAN
- A1.6 FINISH PLAN
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- A2.1 DEMO ELEVATIONS
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- A3.2 BUILDING SECTIONS
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PROJECT TITLE
CHEROKEE COUNTY REST AREA
 US 19 AND COVER STREET
 ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a

DRAWING TITLE
COVER SHEET

SHEET 1 OF 22

A0.1

PLOT DATE 10/19/16
REVISION 00/00/08

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90.1 (2010) Standard

Section 1: Project Information

Project Type: **New Construction**
 Project Title :
 Construction Site: Owner/Agent: Designer/Contractor:

Section 2: General Information

Building Location (for weather data): **Andrews, North Carolina**
 Climate Zone: **4a**
 Building Type for Envelope Requirements: **Nonresidential**
 Vertical Glazing / Wall Area Pct.: **14%**

Building Type: **Office** Floor Area: **1186**

Section 3: Requirements Checklist

Envelope PASSES: Design 3% better than code.

Climate-Specific Requirements:

Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor(a)
Orientation: NORTH					
Exterior Wall 1: Wood-Framed, 16" o.c.	414	19.0	0.0	0.067	0.089
Window 1: Wood Frame:Double Pane with Low-E, Clear, SHGC 0.63	50	---	---	0.480	0.400
Orientation: EAST					
Exterior Wall 2: Wood-Framed, 16" o.c.	416	19.0	0.0	0.067	0.089
Window 2: Wood Frame:Double Pane with Low-E, Clear, SHGC 0.63	16	---	---	0.480	0.400
Orientation: SOUTH					
Exterior Wall 3: Wood-Framed, 16" o.c.	414	19.0	0.0	0.067	0.089
Window 3: Wood Frame:Double Pane with Low-E, Clear, SHGC 0.63	63	---	---	0.480	0.400
Door 1: Insulated Metal, Swinging	21	---	---	0.500	0.700
Door 2: Glass (> 50% glazing):Metal Frame, Clear, Entrance Door, SHGC 0.87	21	---	---	0.920	0.850
Orientation: WEST					
Exterior Wall 4: Wood-Framed, 16" o.c.	416	19.0	0.0	0.067	0.089
Window 4: Wood Frame:Double Pane with Low-E, Clear, SHGC 0.63	39	---	---	0.480	0.400
Door 3: Glass (> 50% glazing):Metal Frame, Clear, Entrance Door, SHGC 0.40	42	---	---	0.920	0.850
Orientation: UNSPECIFIED ORIENTATION					
Floor 1: Wood-Framed	1186	38.0	0.0	0.027	0.033
Roof 1: Attic Roof with Wood Joists	1186	24.0	15.0	0.026	0.027

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

- Insulation:**
- 1. Open-blown or poured loose-fill insulation has not been used in attic roof spaces with ceiling slope greater than 3 in 12.
 - 2. Wherever vents occur, they are baffled to deflect incoming air above the insulation.
 - 3. Recessed lights, equipment and ducts are not affecting insulation thickness.
 - 4. No roof insulation is installed on a suspended ceiling with removable ceiling panels.
 - 5. All exterior insulation is covered with protective material.
 - 6. Cargo and loading dock doors are equipped with weather seals.
 - 7. Where two or more layers of rigid insulation board are used the edge joints between each layer is staggered.

- Fenestration and Doors:**
- 8. Windows and skylights are labeled and certified by the manufacturer for U-factor and SHGC.
 - 9. Fixed windows and skylights unlabeled by the manufacturer have been site labeled using the default U-factor and SHGC.
 - 10. Other unlabeled vertical fenestration, operable and fixed, that are unlabeled by the manufacturer have been site labeled using the default U-factor and SHGC. No credit has been given for metal frames with thermal breaks, low-emissivity coatings, gas fillings, or insulating spacers.

- Air Leakage and Component Certification:**
- 11. Component R-values & U-factors labeled as certified.
 - 12. Other components have supporting documentation for proposed U-Factors.
 - 13. All joints and penetrations are caulked, gasketed, weather-stripped, or otherwise sealed.
 - 14. Continuous air barrier exists around entire building envelope, covering all surfaces, and is designed to resist positive and negative pressures. Air barrier is clearly identified or otherwise noted on construction documents.
 - 15. Windows, doors, and skylights certified as meeting leakage requirements.
 - 16. Air leakage ratings do not exceed 1.0 cfm/ft² for glazed swinging entrance doors and revolving doors, 0.06 cfm/ft² for curtainwall and storefront glazing, 0.3 cfm/ft² for skylights with condensation weepage openings.
Exceptions:
 - Field-fabricated fenestration and doors.
 - Metal rolling doors in semi-heated spaces.
 - 17. Building entrances that separate conditioned space from the exterior have an enclosed vestibule with all doors equipped with self-closing devices. Interior and exterior doors in the closed position are no less than 7 ft apart. Conditioned vestibules comply with the requirements for a conditioned space. Unconditioned vestibules comply with the requirements of a semiheated space.
Exceptions:
 - Building entrances with revolving doors.
 - Doors not intended to be used as a building entrance.
 - Doors opening directly from a dwelling unit.
 - Doors that open directly from a space less than 3000 sq. ft. in area and is separate from the building entrance.

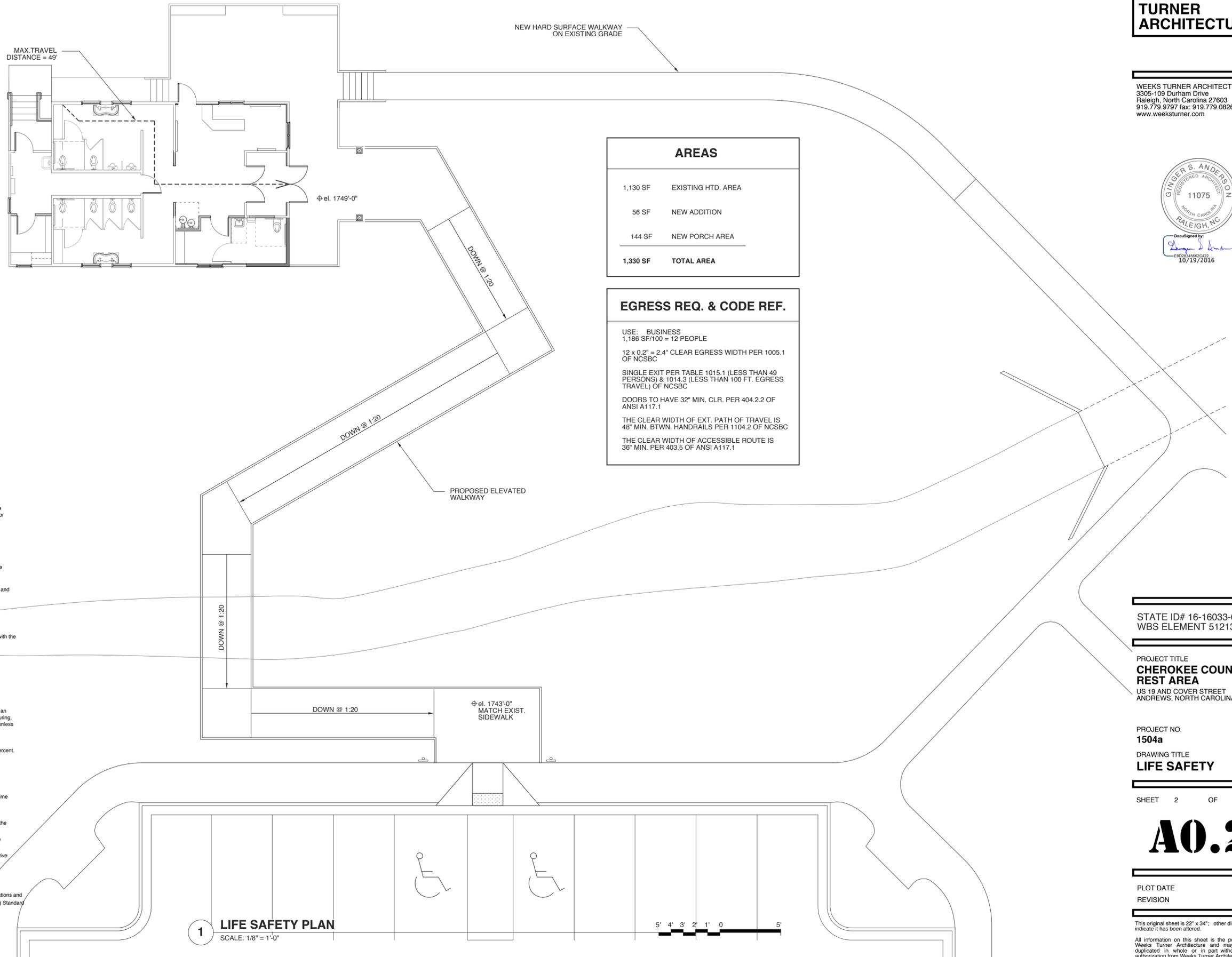
- Minimum Skylight-Daylighting Requirements:**
- 18. In buildings having four stories, any enclosed spaces > 5,000 ft² directly under a roof with ceiling heights > 15 ft. and used as an office, lobby, atrium, concourse, corridor, storage, gymnasium/exercise center, convention center, automotive service, manufacturing, non-refrigerated warehouse, retail store, distribution/sorting area, transportation, or workshop, the following requirements apply unless exempted:
 - The daylight zone under skylights is >= half the floor area;
 - The skylight area to daylight zone is >= 3 percent with a skylight VT >= 0.40; or a minimum skylight effective aperture >= 1 percent.
 - The skylights have a measured haze value > 90 percent.

- Exceptions:**
- Spaces where the proposed general lighting power densities < 0.5 W/ft².
 - Areas with obstructions that block direct beam sunlight on >= 1/2 of the roof over the enclosed area for more than 1,500 daytime hours per year between 8 am and 4 pm.
 - Spaces where the daylight zone under rooftop monitors is > 50 percent of the enclosed space floor area.
 - Enclosed spaces where 90 percent of the skylight area is shaded on June 21 at noon by permanent architectural features of the building (documentation required).
 - Required daylight area under skylights may be reduced by the amount of primary sidelighted area with a sidelighting effective aperture > 0.15 and with general lighting controlled as described in Section 9.4.1.3 (without exceptions).
 - Required daylight area under skylights may be reduced by the amount of secondary sidelighted area with a sidelighting effective aperture > 0.30 and with general lighting controlled by continuous daylight dimming.

Section 4: Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed envelope system has been designed to meet the 90.1 (2010) Standard requirements in COMcheck Version 3.9.2 and to comply with the mandatory requirements in the Requirements Checklist.

Name - Title Signature Date



AREAS	
1,130 SF	EXISTING HTD. AREA
56 SF	NEW ADDITION
144 SF	NEW PORCH AREA
1,330 SF	TOTAL AREA

EGRESS REQ. & CODE REF.

USE: BUSINESS
 1,186 SF/100 = 12 PEOPLE

12 x 0.2" = 2.4" CLEAR EGRESS WIDTH PER 1005.1 OF NCSBC

SINGLE EXIT PER TABLE 1015.1 (LESS THAN 49 PERSONS) & 1014.3 (LESS THAN 100 FT. EGRESS TRAVEL) OF NCSBC

DOORS TO HAVE 32" MIN. CLR. PER 404.2.2 OF ANSI A117.1

THE CLEAR WIDTH OF EXT. PATH OF TRAVEL IS 48" MIN. BTWN. HANDRAILS PER 1104.2 OF NCSBC

THE CLEAR WIDTH OF ACCESSIBLE ROUTE IS 36" MIN. PER 403.5 OF ANSI A117.1

1 LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"



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 GINGER S. ANDERSON
 EQ203456620422
 10/19/2016

STATE ID# 16-16033-01A
 WBS ELEMENT 51213.011

PROJECT TITLE
CHEROKEE COUNTY REST AREA
 US 19 AND COVER STREET
 ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a

DRAWING TITLE
LIFE SAFETY

SHEET 2 OF 22

A0.2

PLOT DATE 10/18/16
 REVISION 00/00/08

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LEGEND	
	EXIST. STREET LIGHT
	EXIST. POST TOP LIGHT

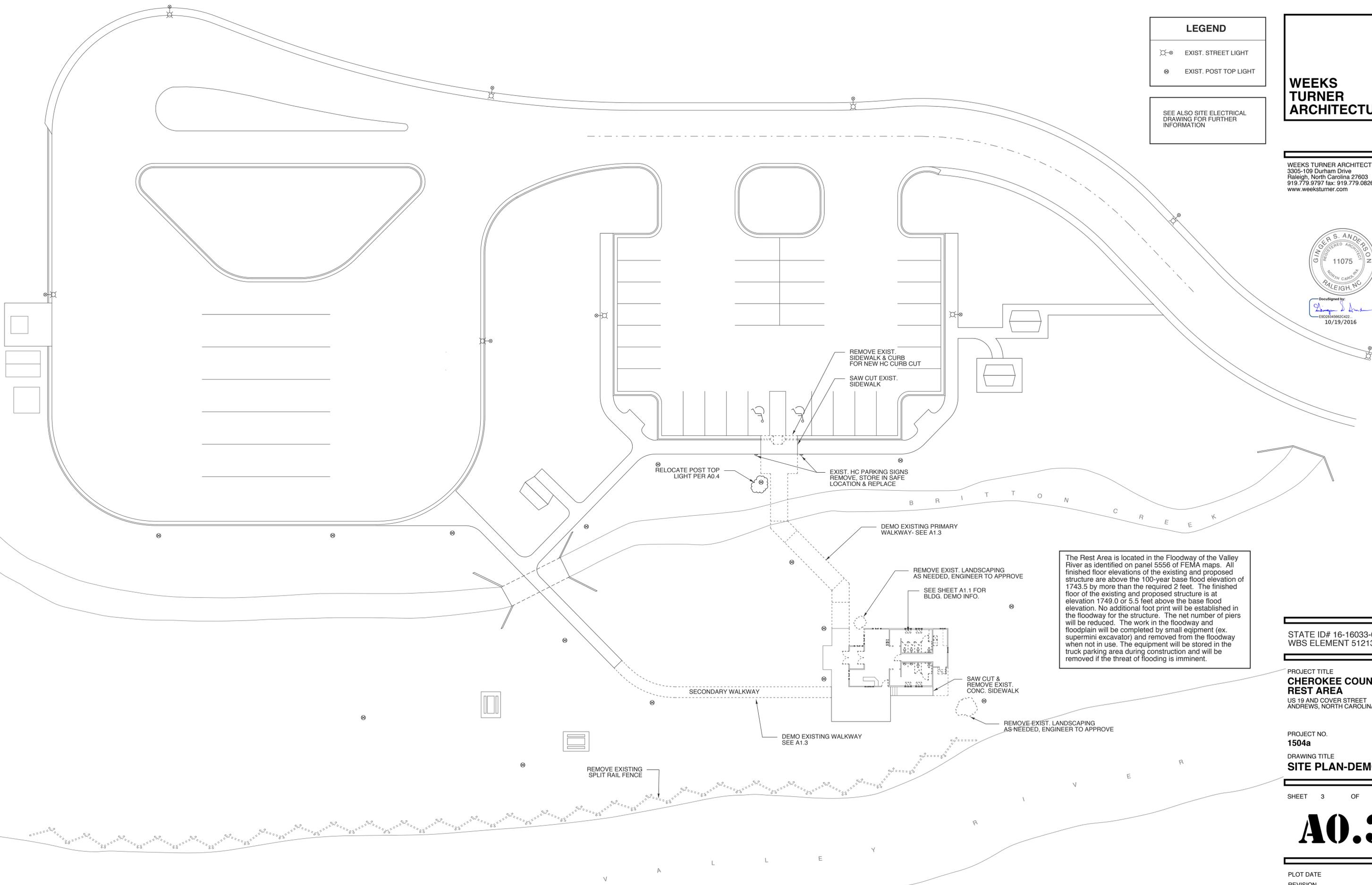
SEE ALSO SITE ELECTRICAL DRAWING FOR FURTHER INFORMATION



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3305-109 Durham Drive
Raleigh, North Carolina 27603
919.779.9797 fax: 919.779.0826
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Ginger S. Anderson
E192345696C422
10/19/2016



The Rest Area is located in the Floodway of the Valley River as identified on panel 5556 of FEMA maps. All finished floor elevations of the existing and proposed structure are above the 100-year base flood elevation of 1743.5 by more than the required 2 feet. The finished floor of the existing and proposed structure is at elevation 1749.0 or 5.5 feet above the base flood elevation. No additional foot print will be established in the floodway for the structure. The net number of piers will be reduced. The work in the floodway and floodplain will be completed by small equipment (ex. supermini excavator) and removed from the floodway when not in use. The equipment will be stored in the truck parking area during construction and will be removed if the threat of flooding is imminent.

STATE ID# 16-16033-01A
WBS ELEMENT 51213.011

PROJECT TITLE
CHEROKEE COUNTY REST AREA
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

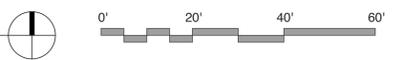
PROJECT NO.
1504a
DRAWING TITLE
SITE PLAN-DEMO

SHEET 3 OF 22

A0.3

PLOT DATE 10/18/16
REVISION 00/00/08

1 SITE PLAN
SCALE: 1" = 20'-0"



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LEGEND	
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	EXIST. POST TOP LIGHT

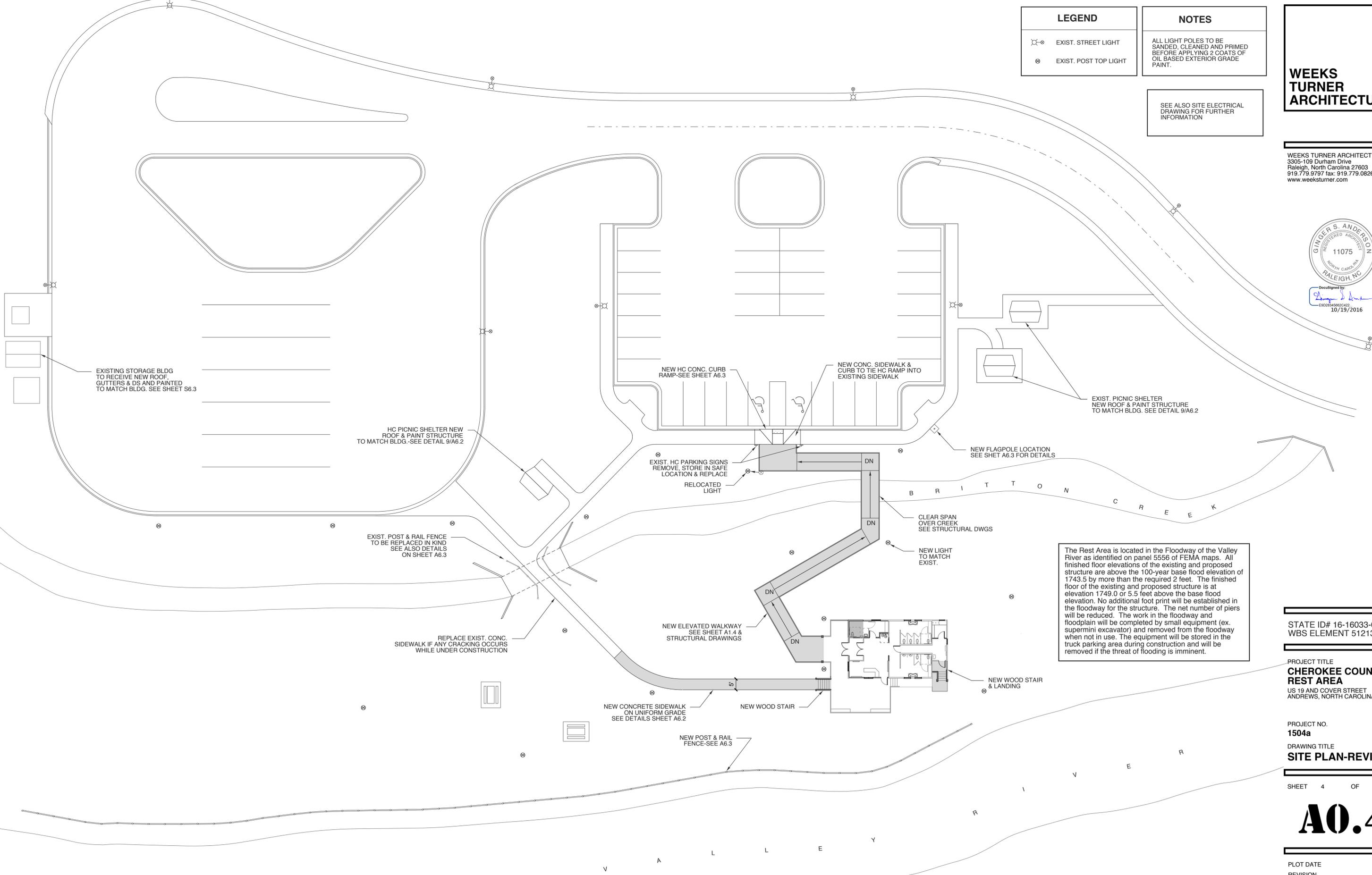
NOTES

ALL LIGHT POLES TO BE SANDED, CLEANED AND PRIMED BEFORE APPLYING 2 COATS OF OIL BASED EXTERIOR GRADE PAINT.

SEE ALSO SITE ELECTRICAL DRAWING FOR FURTHER INFORMATION

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STATE ID# 16-16033-01A
WBS ELEMENT 51213.011

PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a
DRAWING TITLE
SITE PLAN-REVISED

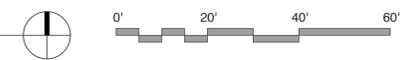
SHEET 4 OF 22

A0.4

PLOT DATE 10/18/16
REVISION 00/00/08

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1 SITE PLAN
SCALE: 1" = 20'-0"



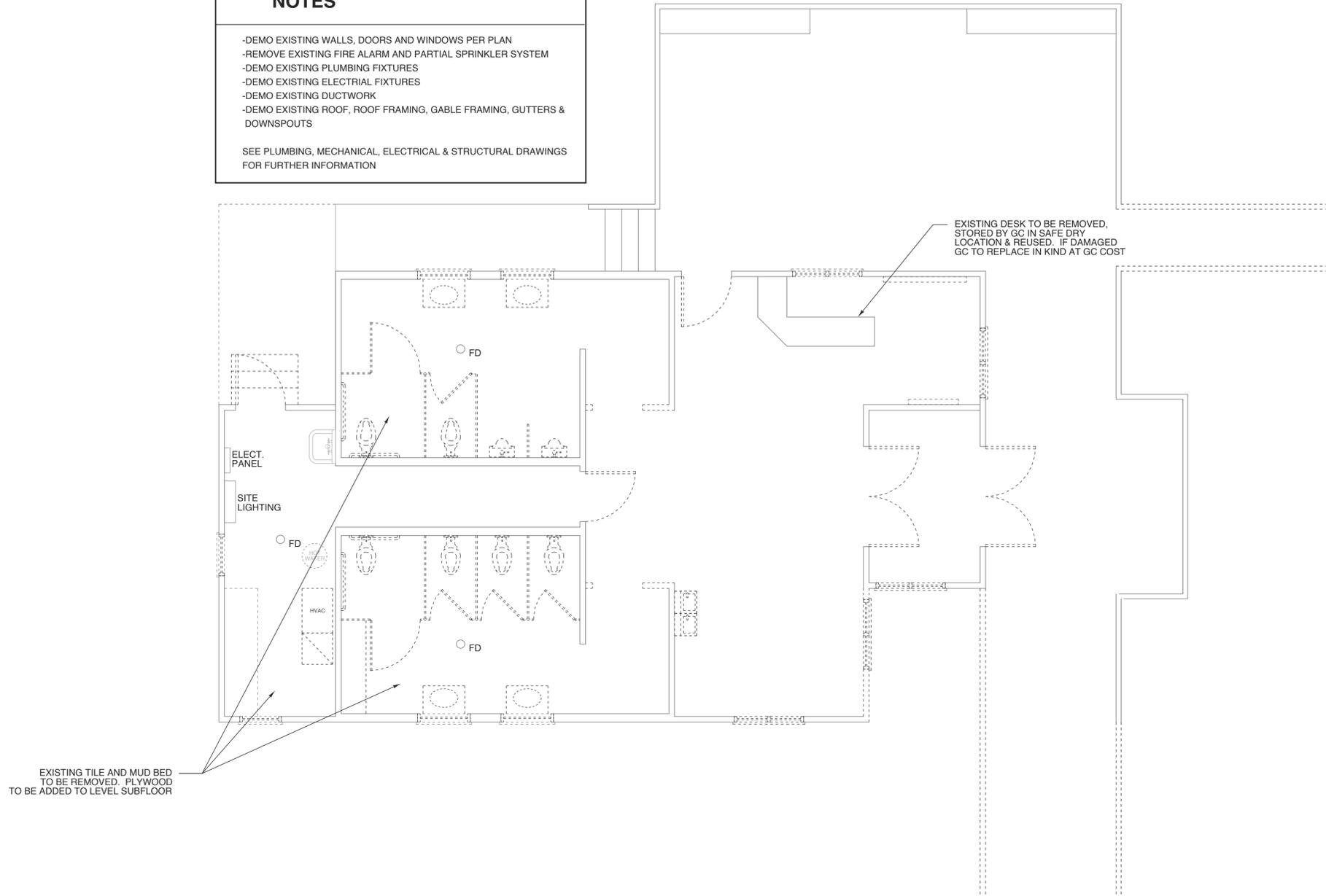


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E9202645962C422
10/19/2016

NOTES

- DEMO EXISTING WALLS, DOORS AND WINDOWS PER PLAN
- REMOVE EXISTING FIRE ALARM AND PARTIAL SPRINKLER SYSTEM
- DEMO EXISTING PLUMBING FIXTURES
- DEMO EXISTING ELECTRICAL FIXTURES
- DEMO EXISTING DUCTWORK
- DEMO EXISTING ROOF, ROOF FRAMING, GABLE FRAMING, GUTTERS & DOWNSPOUTS

SEE PLUMBING, MECHANICAL, ELECTRICAL & STRUCTURAL DRAWINGS FOR FURTHER INFORMATION



1 DEMO PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

-----	EXISTING TO BE REMOVED
—————	EXISTING TO REMAIN

DEMOLITION & CONSTRUCTION NOTES

ALL MATERIALS SHALL BE NEW AND OF QUANTITY SPECIFIED, EXCEPT WHERE RECLAIMED MATERIAL IS INDICATED FOR USE. WORKMANSHIP SHALL AT ALL TIMES BE OF A GRADE ACCEPTED AS THE BEST PRACTICE OF THE PARTICULAR TRADE INVOLVED, AND AS STIPULATED IN WRITTEN STANDARDS OF RECOGNISED ORGANIZATIONS OR INSTITUTES OF THE RESPECTIVE TRADES EXCEPT AS EXCEEDED OR QUALIFIED BY THE SPECIFICATIONS.

ITEMS RESULTING FROM THE DEMOLITION AND ITEMS WHICH ARE NOT TO BE RETURNED TO THE OWNER AS NOTED HEREIN, SHALL BE REMOVED FROM THE SITE, AS THE WORK PROGRESSES, AND DISPOSED OF IN A LEGAL MANNER.

THE CONTRACTOR SHALL REVIEW EACH PHASE OF THE WORK PRIOR TO PROCEEDING WITH THE WORK AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS THAT WILL RESULT IN CHANGES TO THE WORK.

AREA OUTSIDE OF AREA OF WORK TO REMAIN CLEAR AND CLEAN OF DEBRIS, EQUIPMENT ETC. AT ALL TIMES.

SEE STRUCTURAL DRAWINGS FOR FRAMING REMOVAL AND FOUNDATION INFORMATION

STATE ID# 16-16033-01A
WBS ELEMENT 51213.011

PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a
DRAWING TITLE
DEMO PLAN

SHEET 5 OF 22

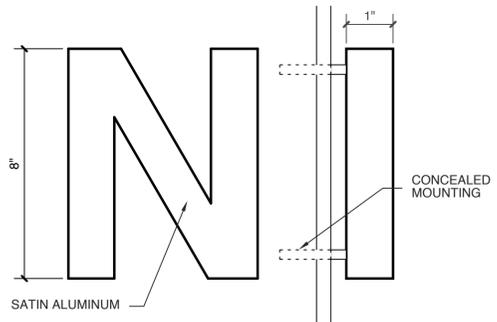
A1.1

PLOT DATE 10/18/16
REVISION 00/00/08

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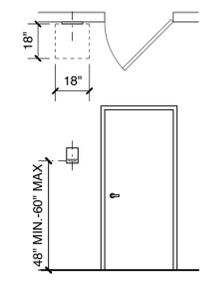


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10/19/2016

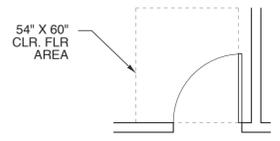


TYPE: HELVETICA BOLD

6 DIM. LETTERS
SCALE: 3" = 1'-0"

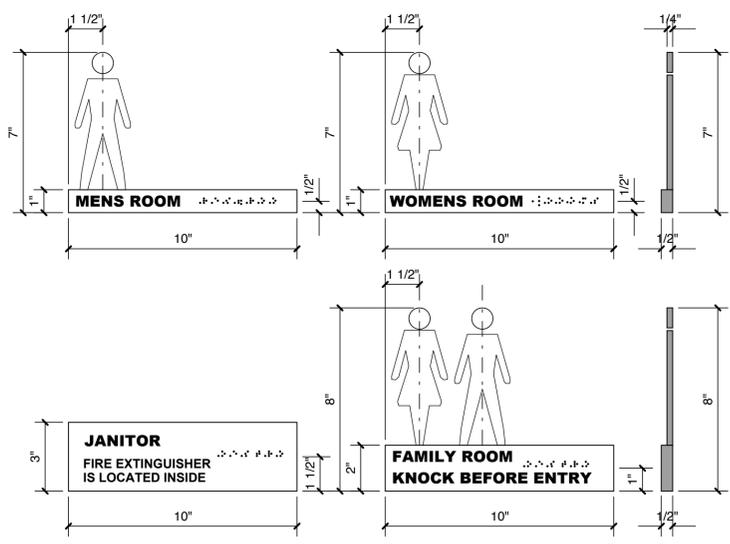


4 NOT USED
SCALE: 1/4" = 1'-0"



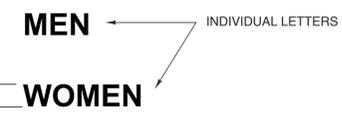
3 TYP. DOOR LOCATION
SCALE: 1/4" = 1'-0"

5 SIGNAGE PLACEMENT
SCALE: 1/4" = 1'-0"

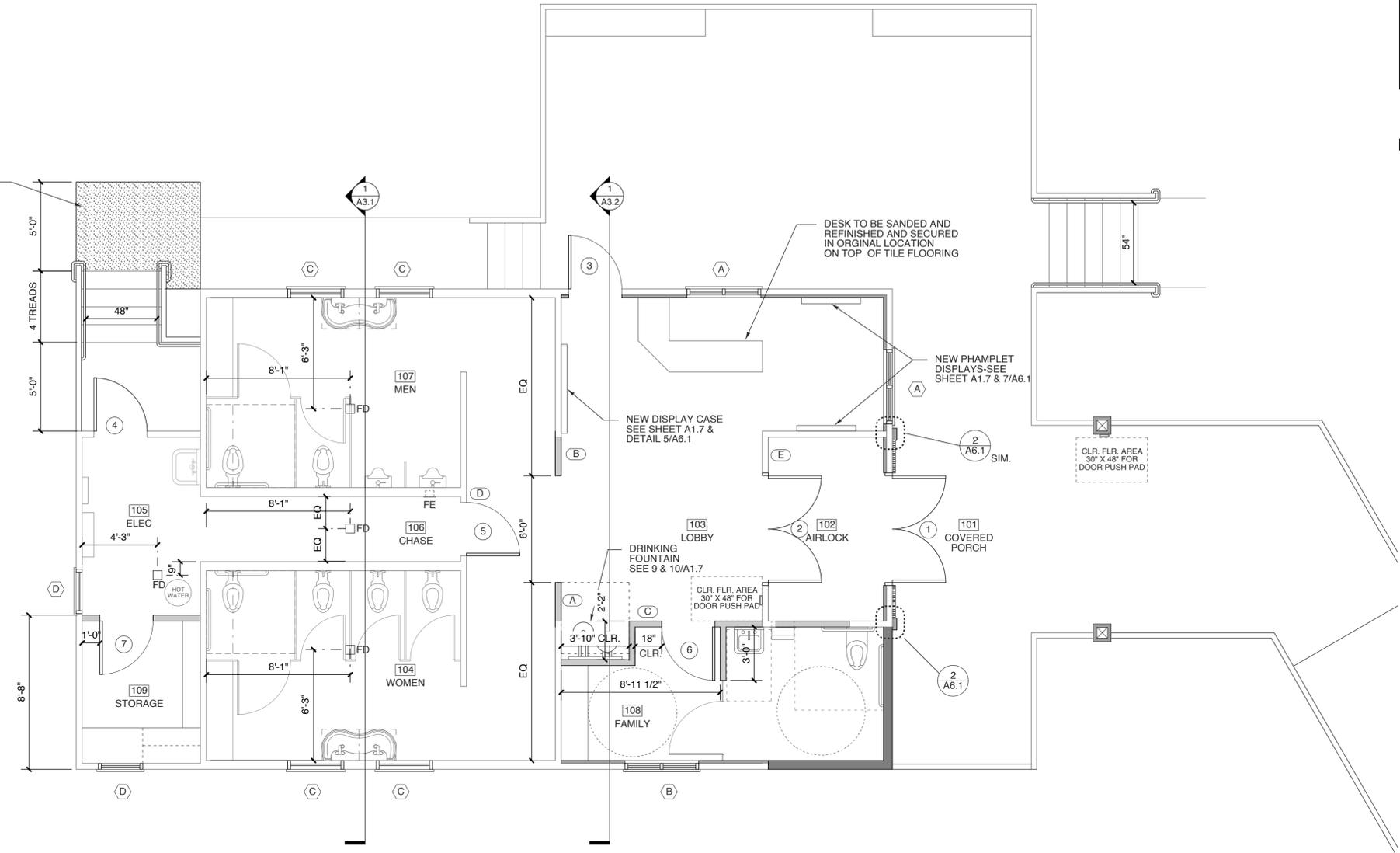


SIGNAGE NOTES

- SIGNS TO BE CAST ALUMINUM RAISED METAL BEAD BRAILLE
- BLACK SILK SCREENED LETTERING HELVETICA BOLD FONT, 3/8" TEXT HT.
- INDIVIDUAL METAL LETTERS TO BE 1/4" THICK MILLED BRUSHED ALUMINUM PLATE
- SIGNAGE SHALL COMPLY WITH ICC A117.1-2009, CH. 7
- BOTTOM OF SIGN TO BE PER 5/A1.2



2 TYP. SIGNAGE
SCALE: 3" = 1'-0"



1 REVISED FLOOR PLAN
SCALE: 1/4" = 1'-0"

- NOTES**
- CONTRACTOR TO SUPPLY ALL BLOCKING NEEDED TO SUPPORT REQUIRED RESTROOM ITEMS UNLESS OTHERWISE NOTED OR STATED PER MANF.
 - VERIFY ALL ROUGH OPENING DIMENSIONS WITH MANUFACTURERS REQUIREMENTS
 - SOIL TO BE TREATED FOR TERMITES PRIOR TO POURING OF CONCRETE SLAB
- ABC FIRE EXTINGUISHER IN SEMI-RECESSED CABINET NOT LOCKABLE - GLASS DOOR WITH STAINLESS STEEL TRIM; HANDLE 48" AFF MAX VERIFY LOCATION WITH FIRE MARSHALL

WALL LEGEND

-----	EXISTING TO BE REMOVED
=====	EXISTING TO REMAIN
=====	EXISTING 2X4 STUD WALL TO BE SISTERED WITH 2X6 STUDS
=====	NEW INTERIOR WD. STUD WALL
=====	EXIST. EXT. WALL WITH 2" NATURAL STONE APPLIED
=====	NEW EXTERIOR WD. STUD WALL

SIGNAGE LEGEND

(A)	WOMEN-1 PC. PER 2/A1.2
(B)	MEN-1 PC. PER 2/A1.2
(C)	FAMILY-1 PC. PER 2/A1.2
(D)	JANITOR-1 PC. PER 2/A1.2
(E)	NO SMOKING-1 PC. ALUM SIM TO 2/A1.2

SEE DETAILS 2 & 5/A1.2 FOR MORE PLACEMENT DETAILS.

STATE ID# 16-16033-01A
WBS ELEMENT 51213.011

PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a
DRAWING TITLE
FLOOR PLAN

SHEET 6 OF 22

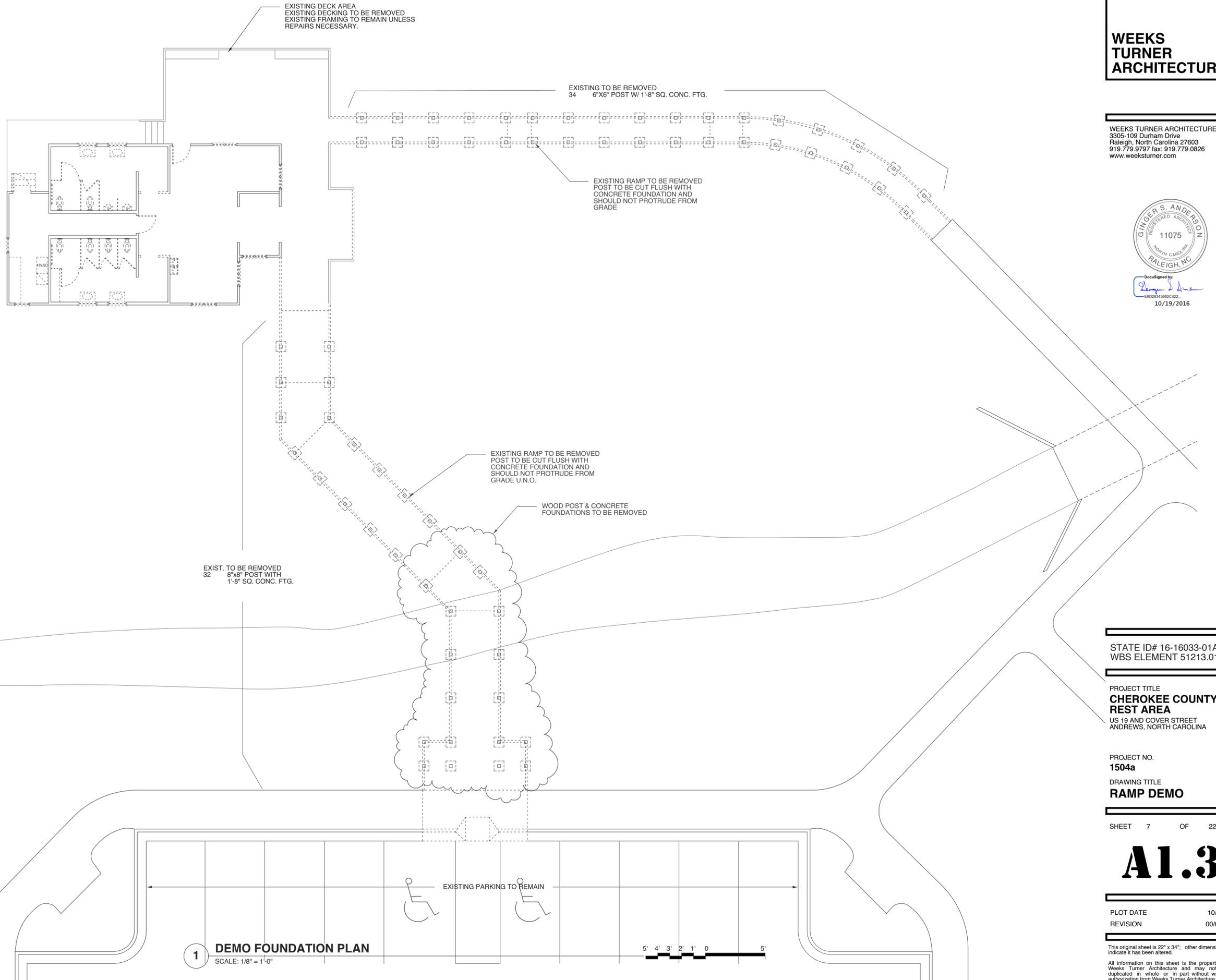
A1.2

PLOT DATE 10/18/16
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WBS ELEMENT 51213.011

PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a

DRAWING TITLE
RAMP DEMO

SHEET 7 OF 22

A1.3

PLOT DATE 10/18/16
REVISION 00/00/08

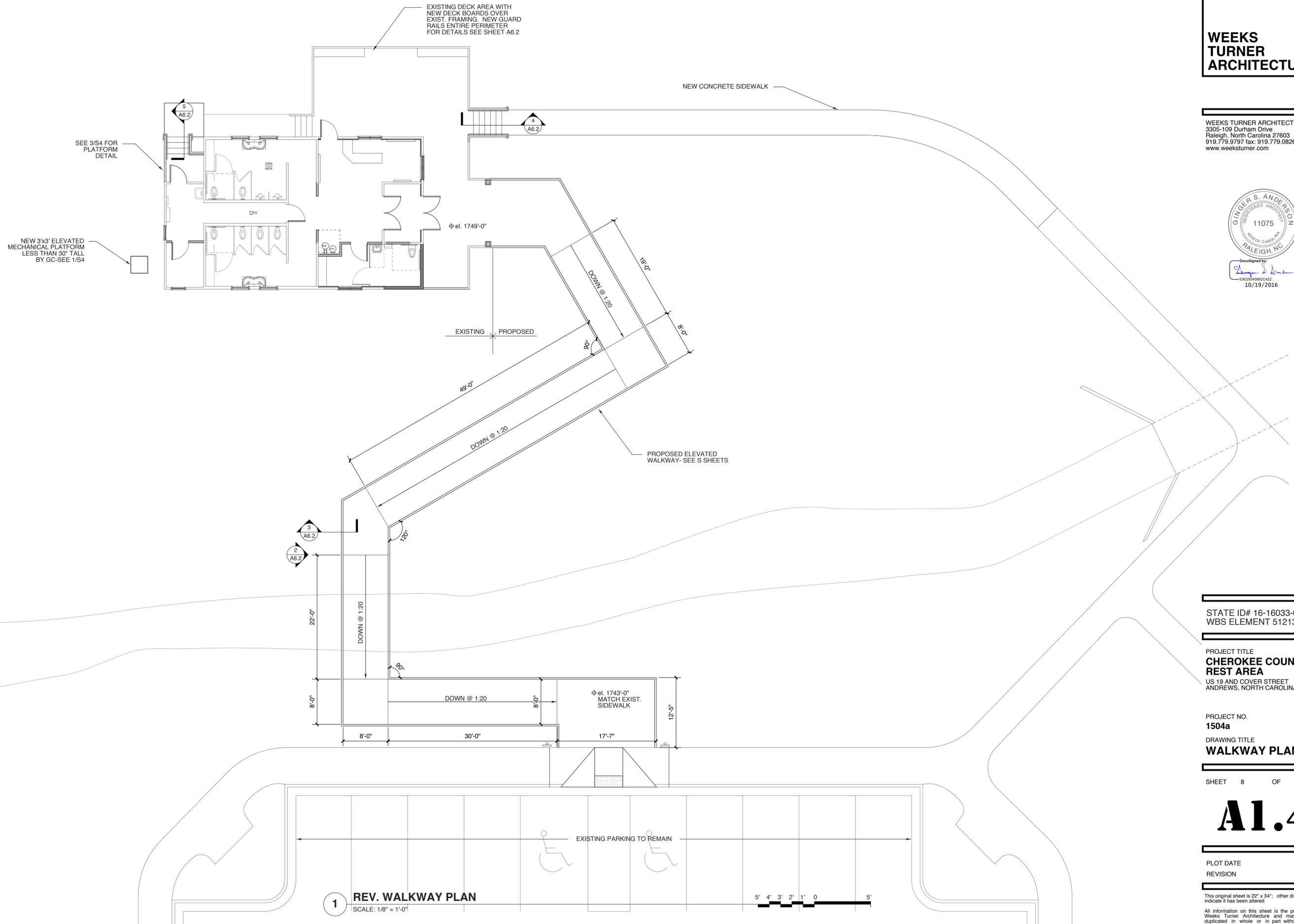
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1 DEMO FOUNDATION PLAN
SCALE: 1/8" = 1'-0"





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PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a
DRAWING TITLE
WALKWAY PLAN

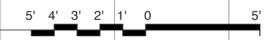
SHEET 8 OF 22

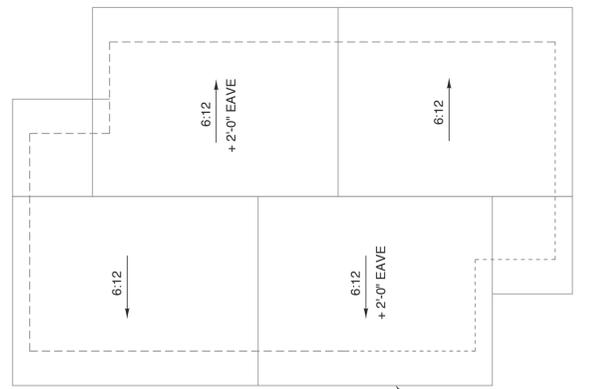
A1.4

PLOT DATE 10/18/16
REVISION 00/00/08

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1 REV. WALKWAY PLAN
SCALE: 1/8" = 1'-0"



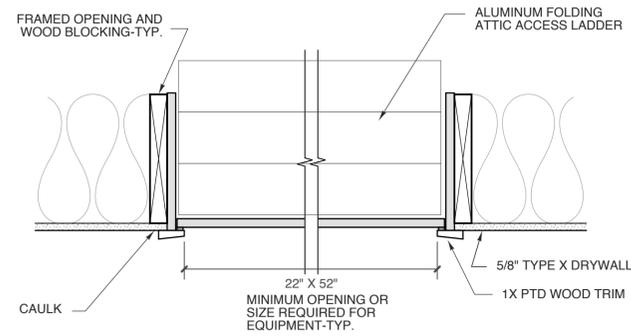


2 EX. ROOF PLAN
SCALE: 1/8" = 1'-0"
EXISTING ROOF TO BE REMOVED

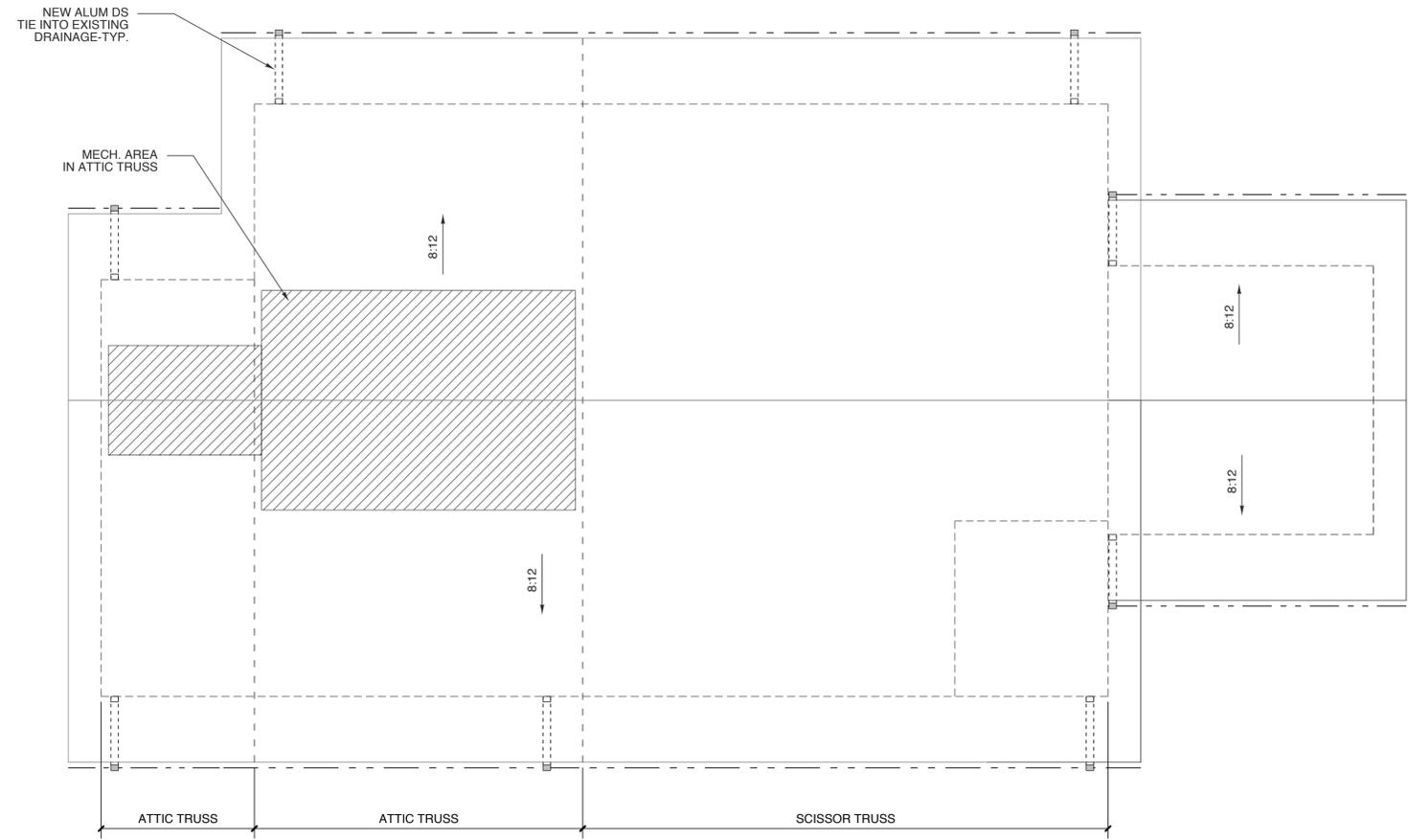
ATTIC VENTILATION	
NA	ATTIC TO BE CONDITIONED AND WITHIN THERMAL ENVELOPE.

ROOF DRAINAGE LEGEND	
■	3" x 4" VERTICAL LEADER
---	5" EAVE GUTTER @ 1:16 SLOPE

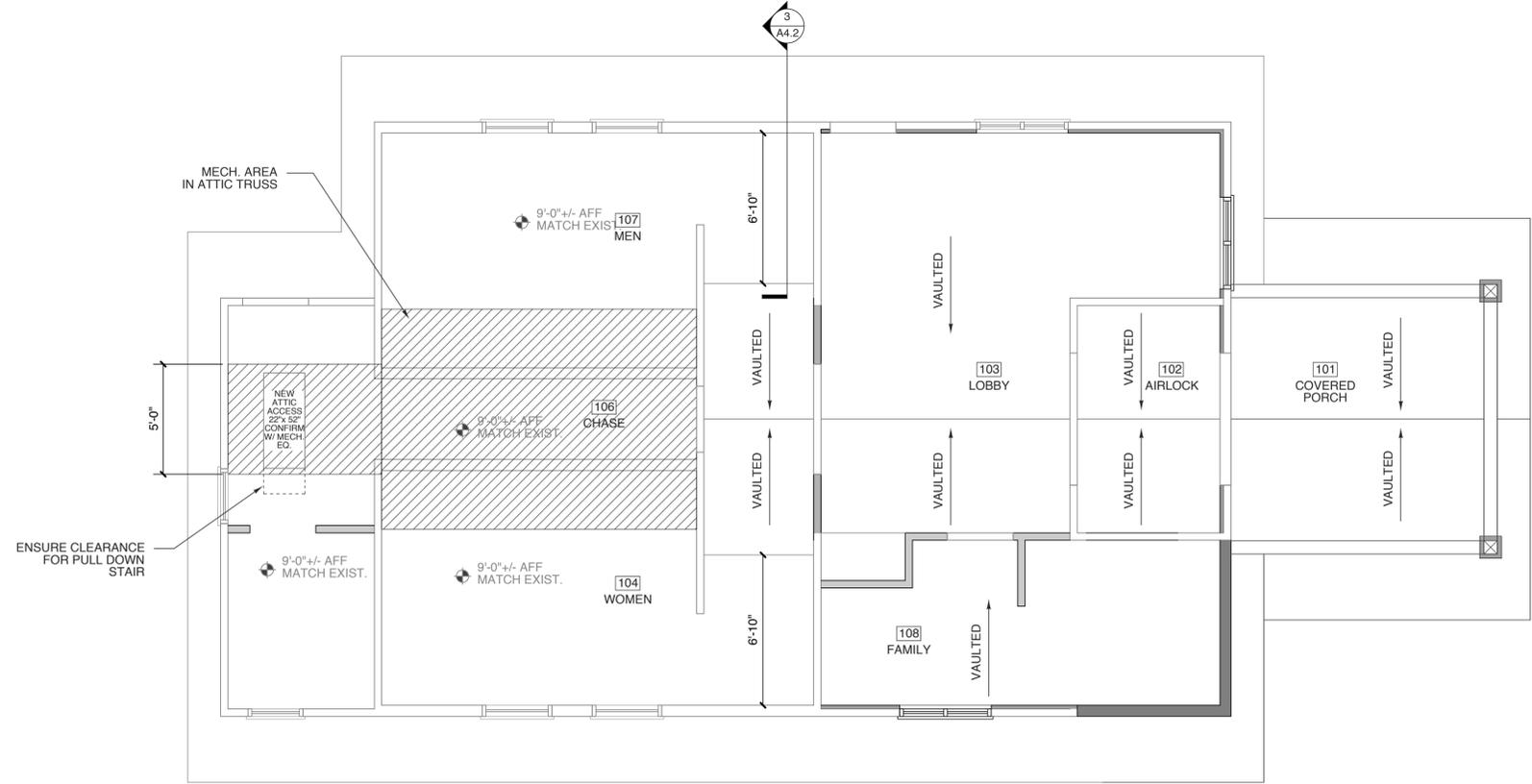
ROOF DRAINAGE CALCULATIONS PER 2012 NC PLUMBING CODE		
TABLE 1106.2 (2) RECTANGULAR VERTICAL LEADERS		
3X4 @ 4"/HR	3,300 SF MAX AREA	
TABLE 1106.6 SIZE OF SEMI-CIRCULAR ROOF GUTTERS		
5" DIA. @ 4"/HR	625 SF MAX AREA	
	@ 1/16: 12 (1/2%) SLOPE	



2 ACCESS DOOR DETAIL
SCALE: 1 1/2" = 1'-0"



1 REVISED ROOF PLAN
SCALE: 1/4" = 1'-0"



1 REVISED REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

STATE ID# 16-16033-01A
WBS ELEMENT 51213.011

PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

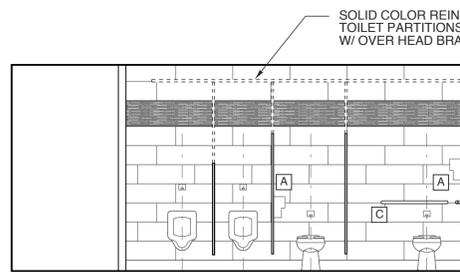
PROJECT NO.
1504a
DRAWING TITLE
RCP & ROOF PLAN

SHEET 9 OF 22

A1.5

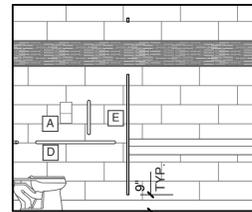
PLOT DATE 10/18/16
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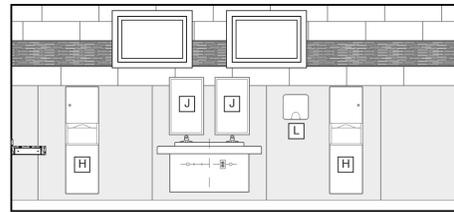


SOLID COLOR REINFORCED COMPOSITE
TOILET PARTITIONS
W/ OVER HEAD BRACING

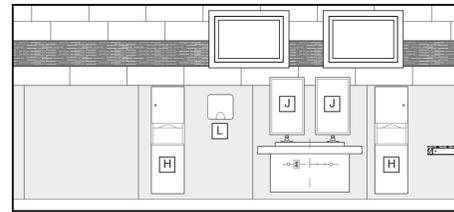
7 ELEV.-MEN
SCALE: 1/4" = 1'-0"



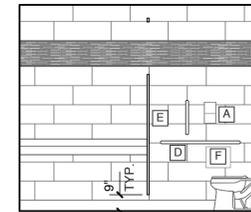
6 ELEV.-MEN 2
SCALE: 1/4" = 1'-0"



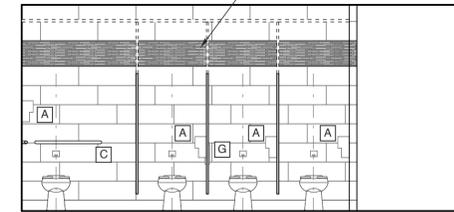
5 ELEV.-WOMEN
SCALE: 1/4" = 1'-0"



4 ELEV.-WOMEN
SCALE: 1/4" = 1'-0"



3 ELEV.-WOMEN
SCALE: 1/4" = 1'-0"



2 ELEV.-WOMEN
SCALE: 1/4" = 1'-0"

SOLID COLOR REINFORCED COMPOSITE
TOILET PARTITIONS
W/ OVER HEAD BRACING

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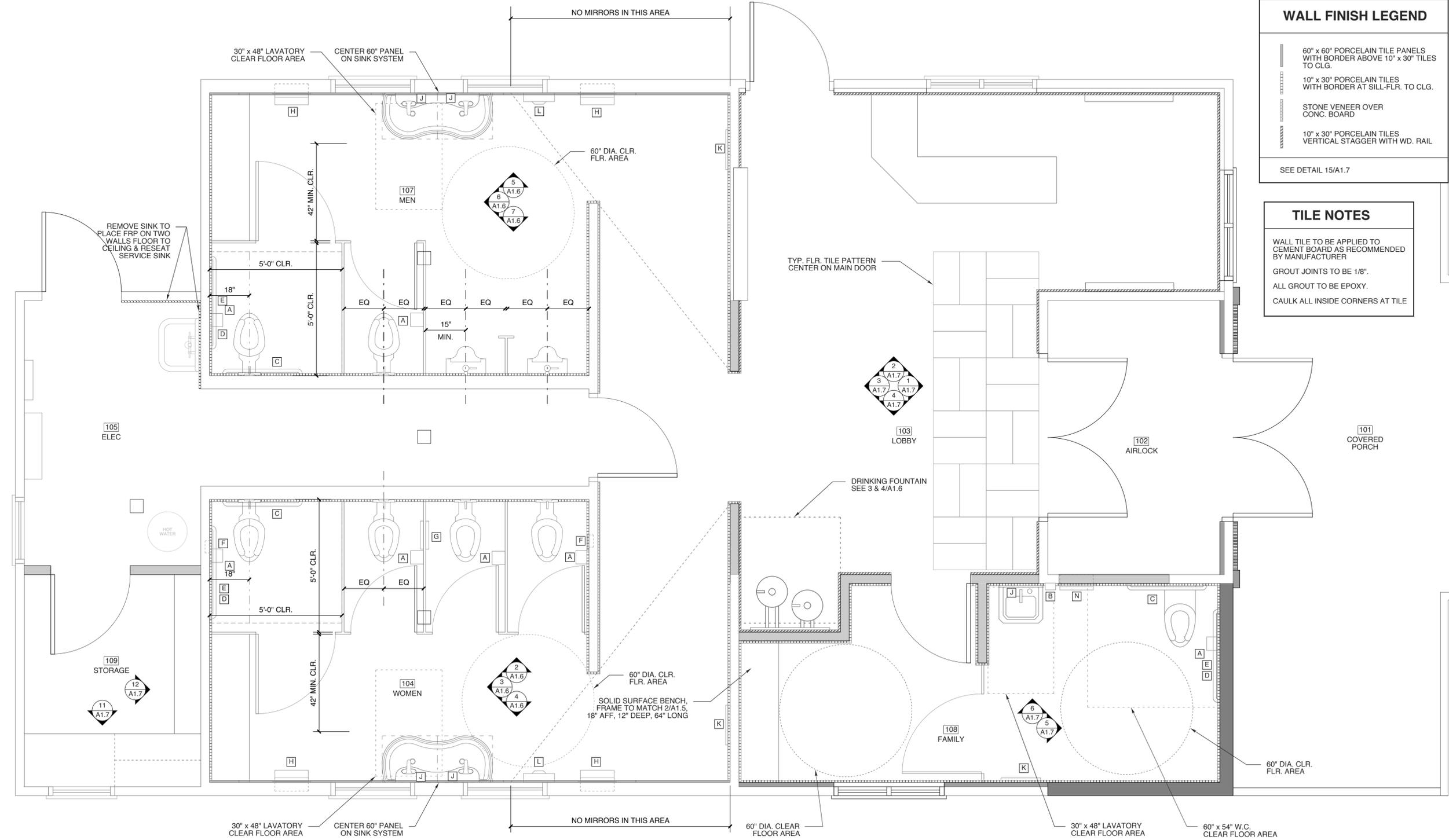
WALL FINISH LEGEND

- 60" x 60" PORCELAIN TILE PANELS WITH BORDER ABOVE 10" x 30" TILES TO CLG.
- 10" x 30" PORCELAIN TILES WITH BORDER AT SILL-FLR. TO CLG.
- STONE VENEER OVER CONC. BOARD
- 10" x 30" PORCELAIN TILES VERTICAL STAGGER WITH WD. RAIL

SEE DETAIL 15/A1.7

TILE NOTES

- WALL TILE TO BE APPLIED TO CEMENT BOARD AS RECOMMENDED BY MANUFACTURER
- GROUT JOINTS TO BE 1/8".
- ALL GROUT TO BE EPOXY.
- CAULK ALL INSIDE CORNERS AT TILE



1 FINISH PLAN
SCALE: 1/2" = 1'-0"

STATE ID# 16-16033-01A
WBS ELEMENT 51213.011

PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

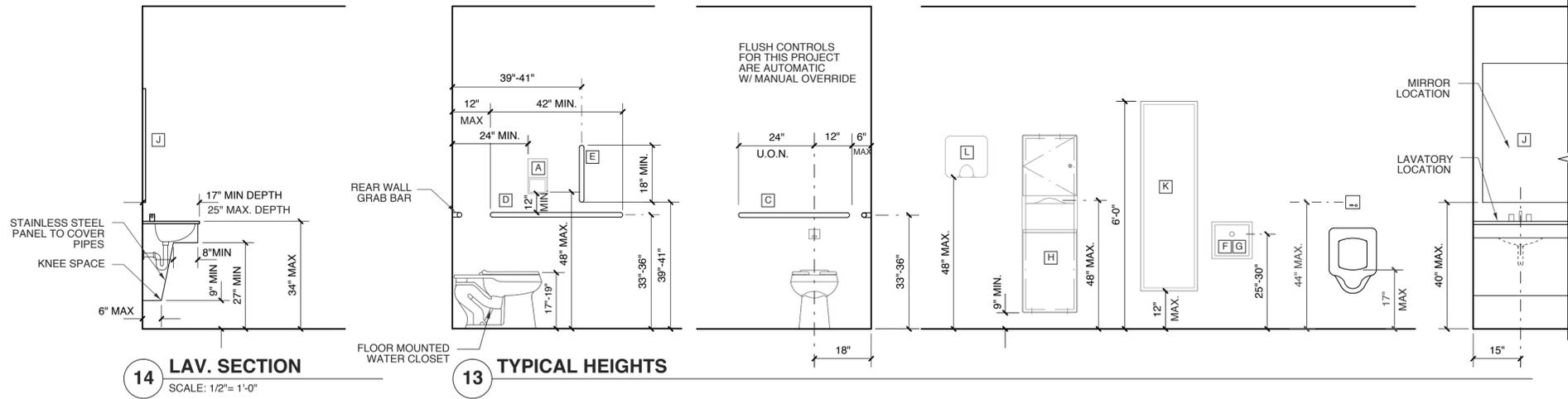
PROJECT NO.
1504a
DRAWING TITLE
FINISH PLAN

SHEET 10 OF 22

A1.6

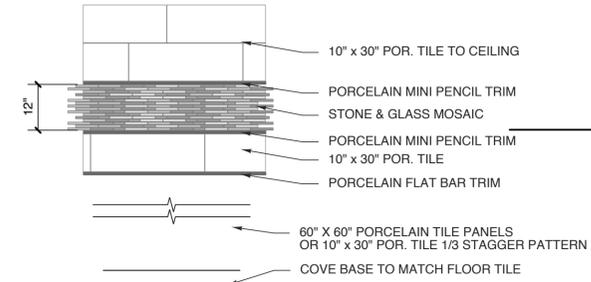
PLOT DATE 10/18/16
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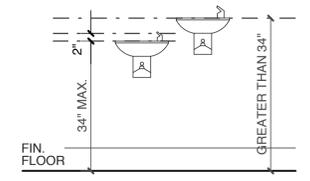


TOILET ACCESSORY SCHEDULE					
MARK	ITEM	MOUNT	MARK	ITEM	MOUNT
A	SURFACE-MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER (B-4288)	15" MIN. A.F.S.	H	RECESSED FOLDED PAPER TOWEL DISP. AND WASTE RECEPTACLE (B-43944)	RE: ELEV.
B	AUTOMATIC HANDS FREE LIQUID SOAP DISPENSER (AJW U135 EA)	42" MAX. A.F.S.	J	WELDED FRAME MIRROR (B-2908-1830)	RE: ELEV.
C	36" HORIZONTAL GRAB BAR (B-6806.99 X 36)	33"-36" A.F.S.	K	WELDED FRAME MIRROR (B-2908-1860)	RE: ELEV.
D	42" HORIZONTAL GRAB BAR (B-6806.99 X 42)	33"-36" A.F.S.	L	AUTOMATIC HAND DRYER EXCEL XLERATOR XL-SB	48" A.F.S.
E	18" VERTICAL GRAB BAR (B-6806.99 X 18)	RE: ELEV.	M	SS MOP & BROOM HOLDER (B-223 X 24)	60"-72" A.F.S.
F	RECESSED SANITARY NAPKIN DISPOSAL (B-4353)	25"-30" A.F.S.	N	RECESSED FOLDED PAPER TOWEL DISP. AND WASTE RECEPTACLE (B-4369)	RE: ELEV.
G	PARTITION MOUNTED SANITARY NAPKIN DISPOSAL (B-4354)	25"-30" A.F.S.			

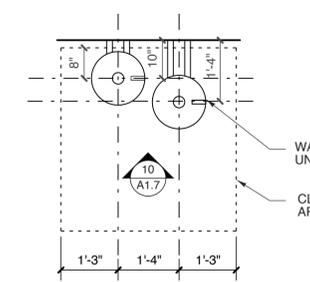
MANUFACTURER: BOBRICK WASHROOM EQUIPMENT U.N.O. OR APPROVED EQUAL-SEE SPECIFICATION
FINISH: SATIN STAINLESS STEEL
NOTE: GC TO INSTALL BLOCKING FOR ALL TOILET ACCESSORIES AND TOILET PARTITIONS AS REQ'D



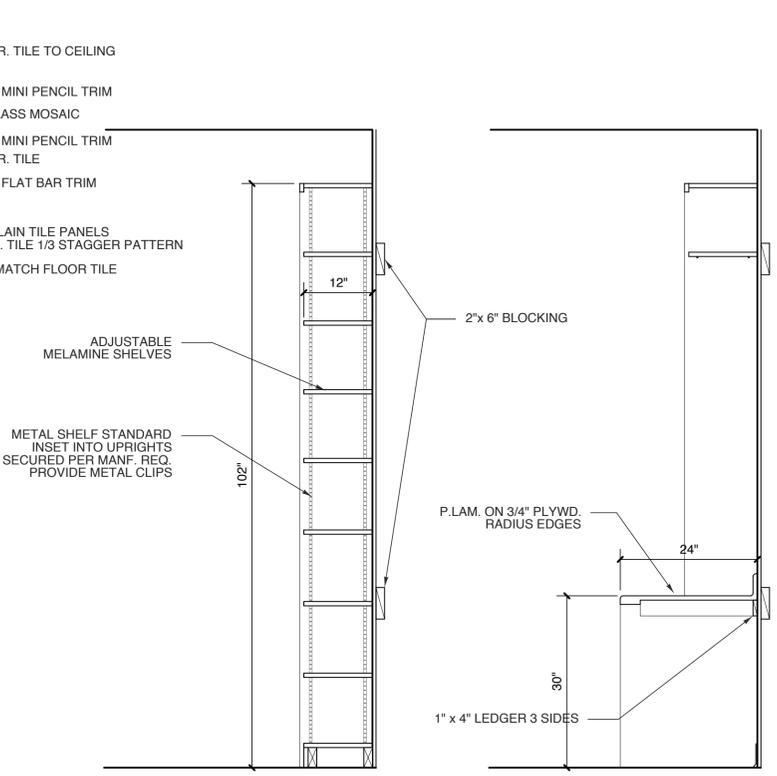
15 WALL TILE BORDER
SCALE: 1/2" = 1'-0"



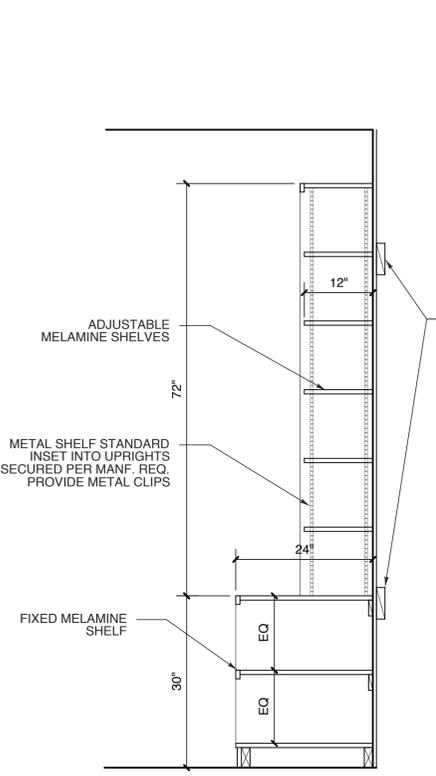
10 HC DF ELEVATION
SCALE: 1/2" = 1'-0"



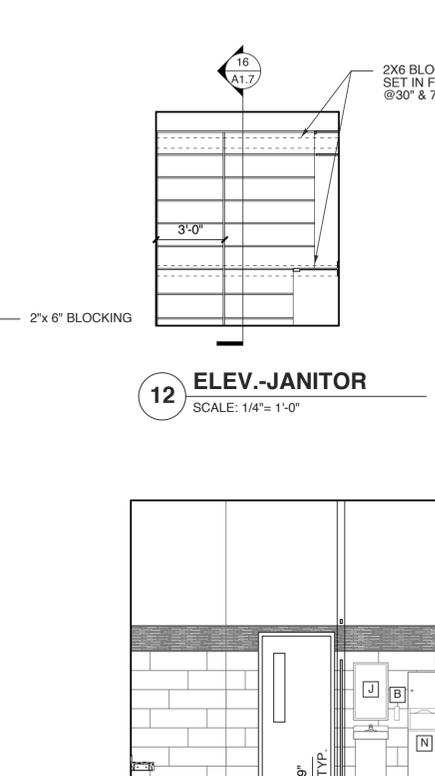
9 HC DF PLAN
SCALE: 1/2" = 1'-0"



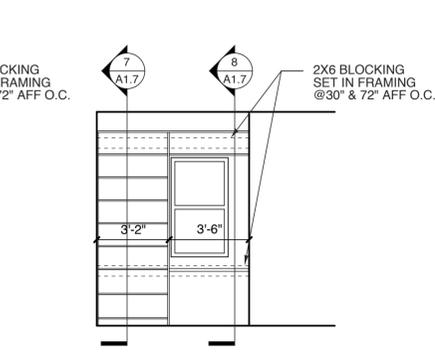
16 SHELVING SECTION
SCALE: 3/4" = 1'-0"



8 DESK SECTION
SCALE: 3/4" = 1'-0"

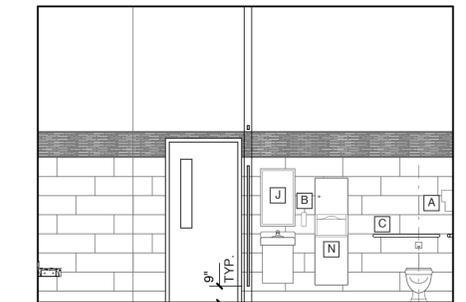


7 SHELVING SECTION
SCALE: 3/4" = 1'-0"

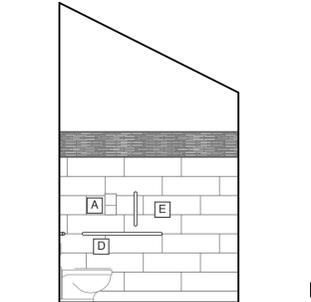


12 ELEV.-JANITOR
SCALE: 1/4" = 1'-0"

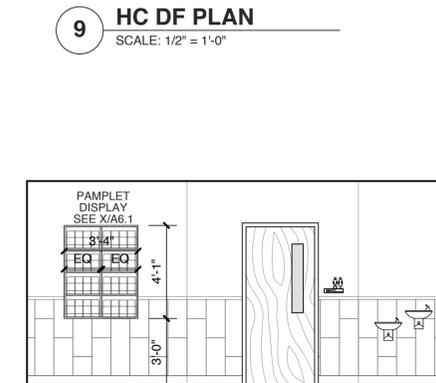
11 ELEV.-JANITOR
SCALE: 1/4" = 1'-0"



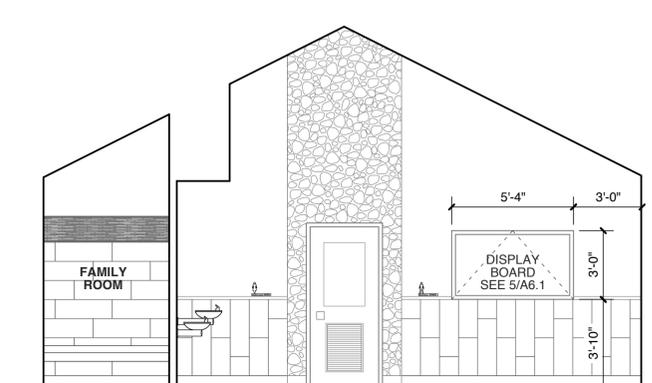
6 ELEV.-FAMILY
SCALE: 1/4" = 1'-0"



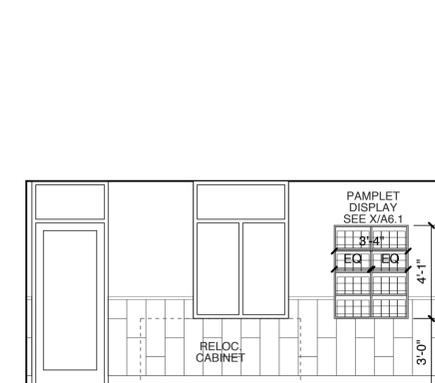
5 ELEV.-FAMILY
SCALE: 1/4" = 1'-0"



4 ELEV.-LOBBY
SCALE: 1/4" = 1'-0"



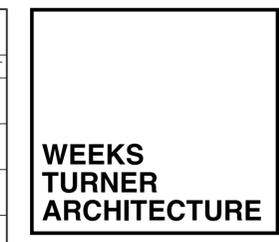
3 ELEV.-LOBBY
SCALE: 1/4" = 1'-0"



2 ELEV.-LOBBY
SCALE: 1/4" = 1'-0"



1 ELEV.-LOBBY
SCALE: 1/4" = 1'-0"



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PROJECT TITLE
CHEROKEE COUNTY REST AREA
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a

DRAWING TITLE
INT. ELEVATIONS

SHEET 11 OF 22

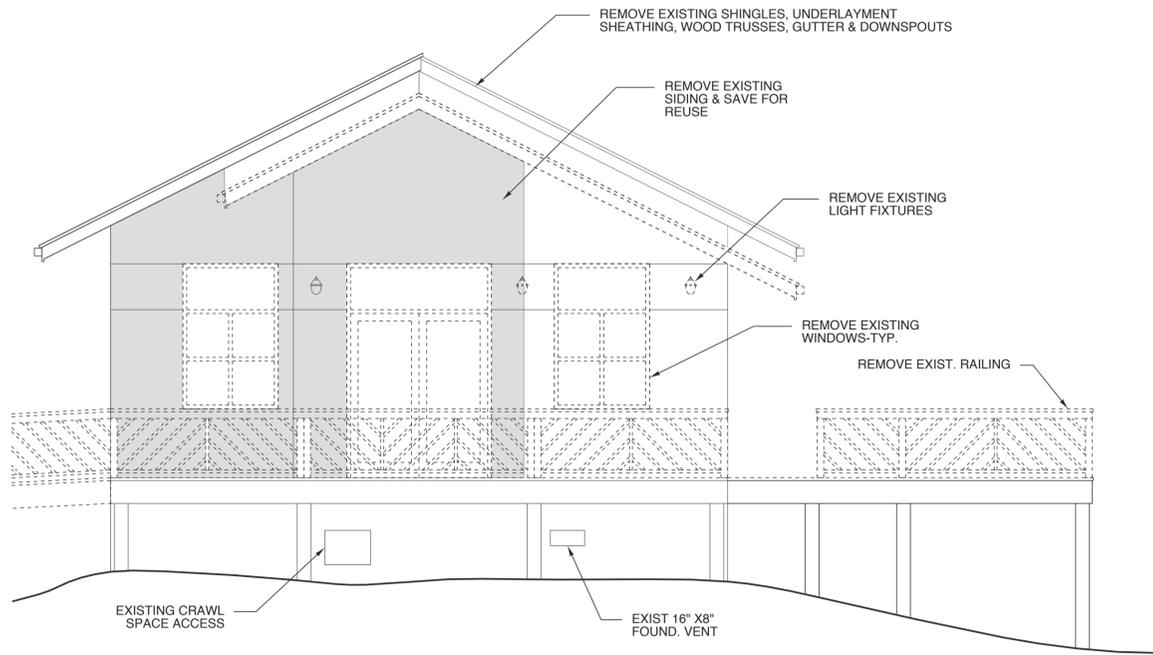
A1.7

PLOT DATE 10/18/16
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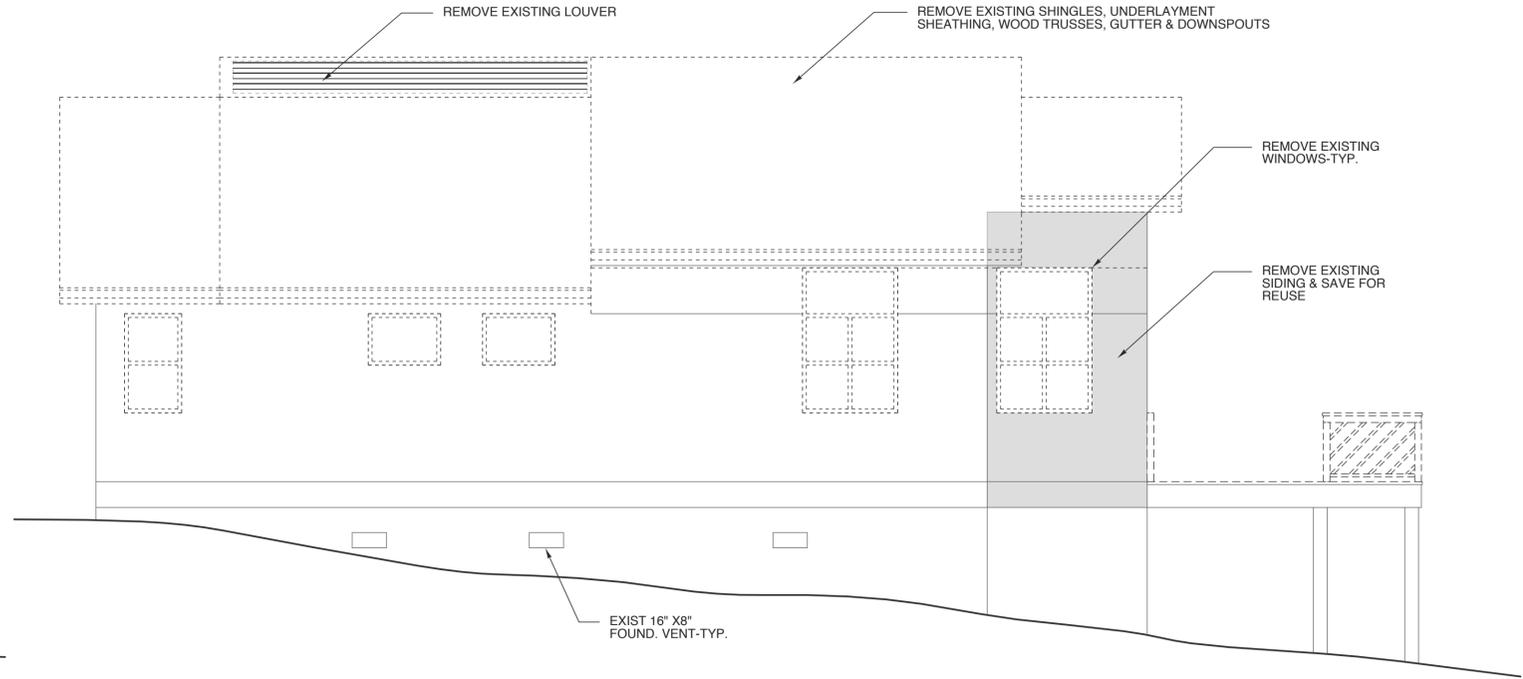
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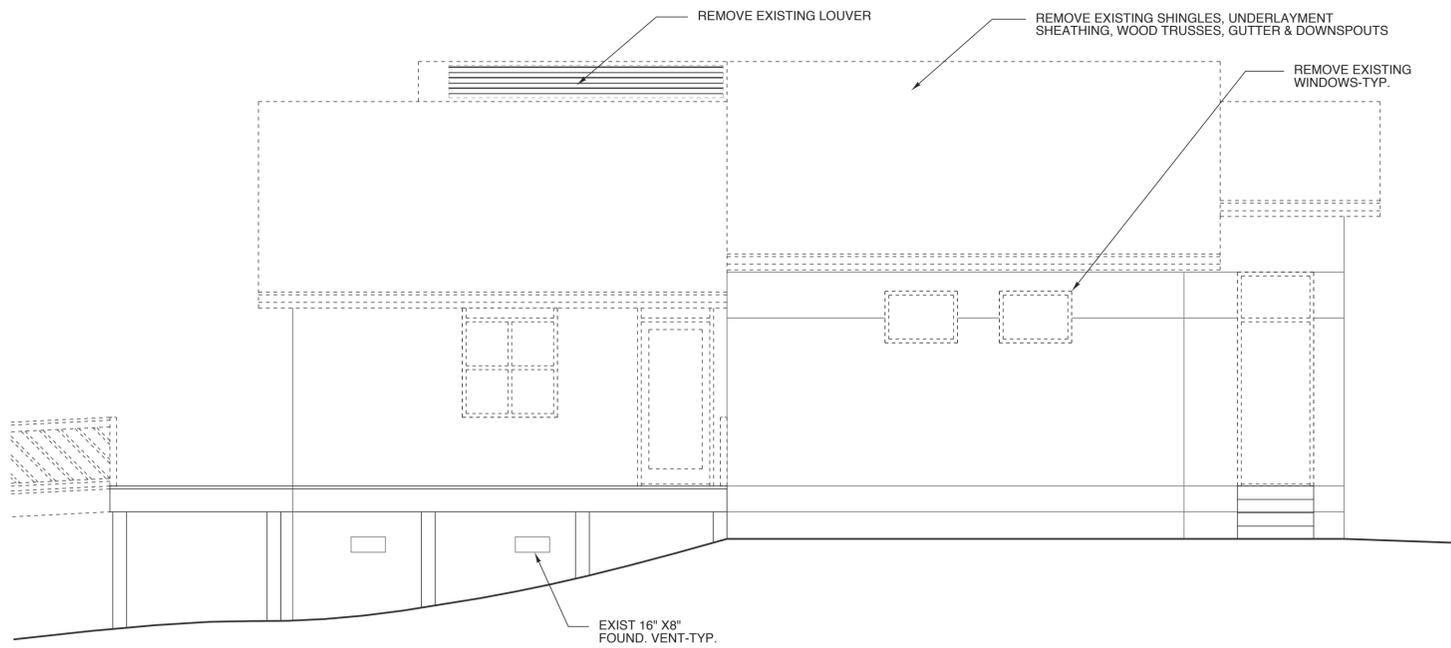
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EK02845960422
10/19/2016



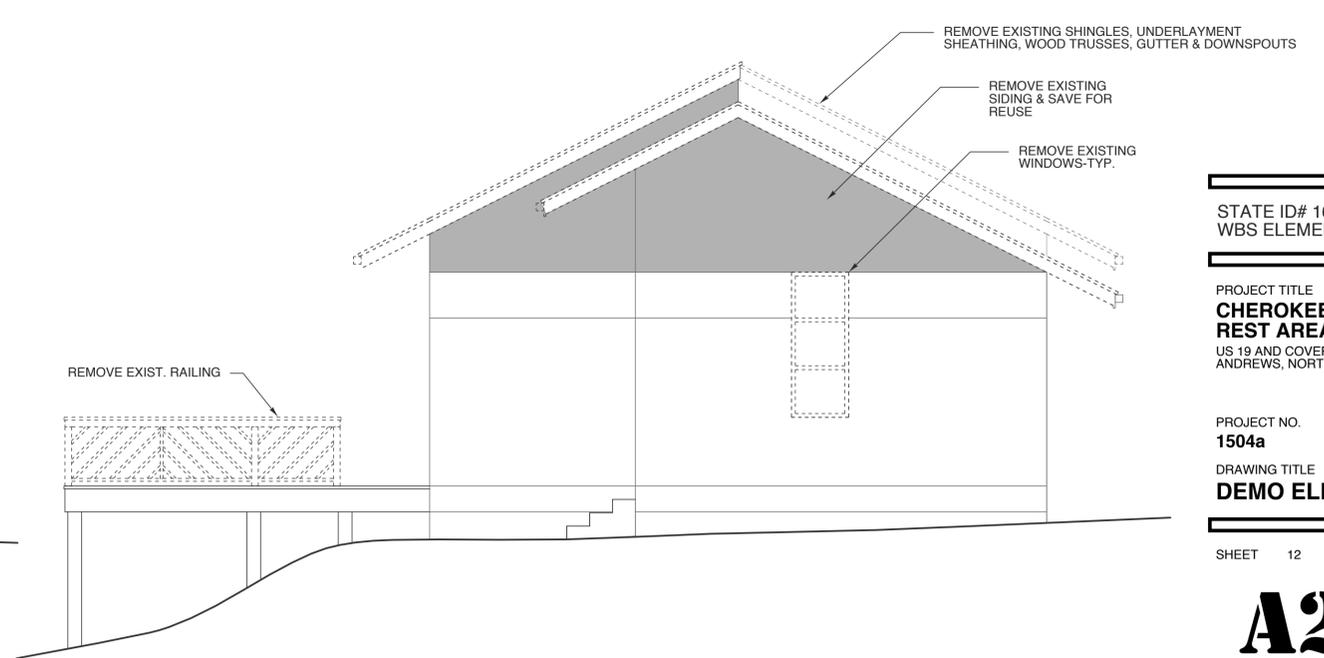
1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

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**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
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PROJECT NO.
1504a
DRAWING TITLE
DEMO ELEVATIONS

SHEET 12 OF 22

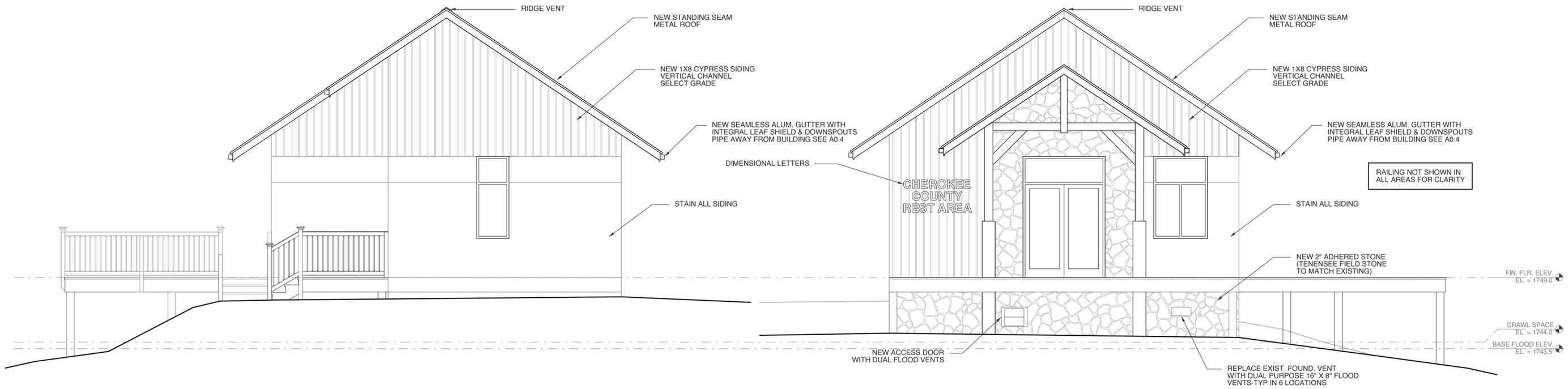
A2.1

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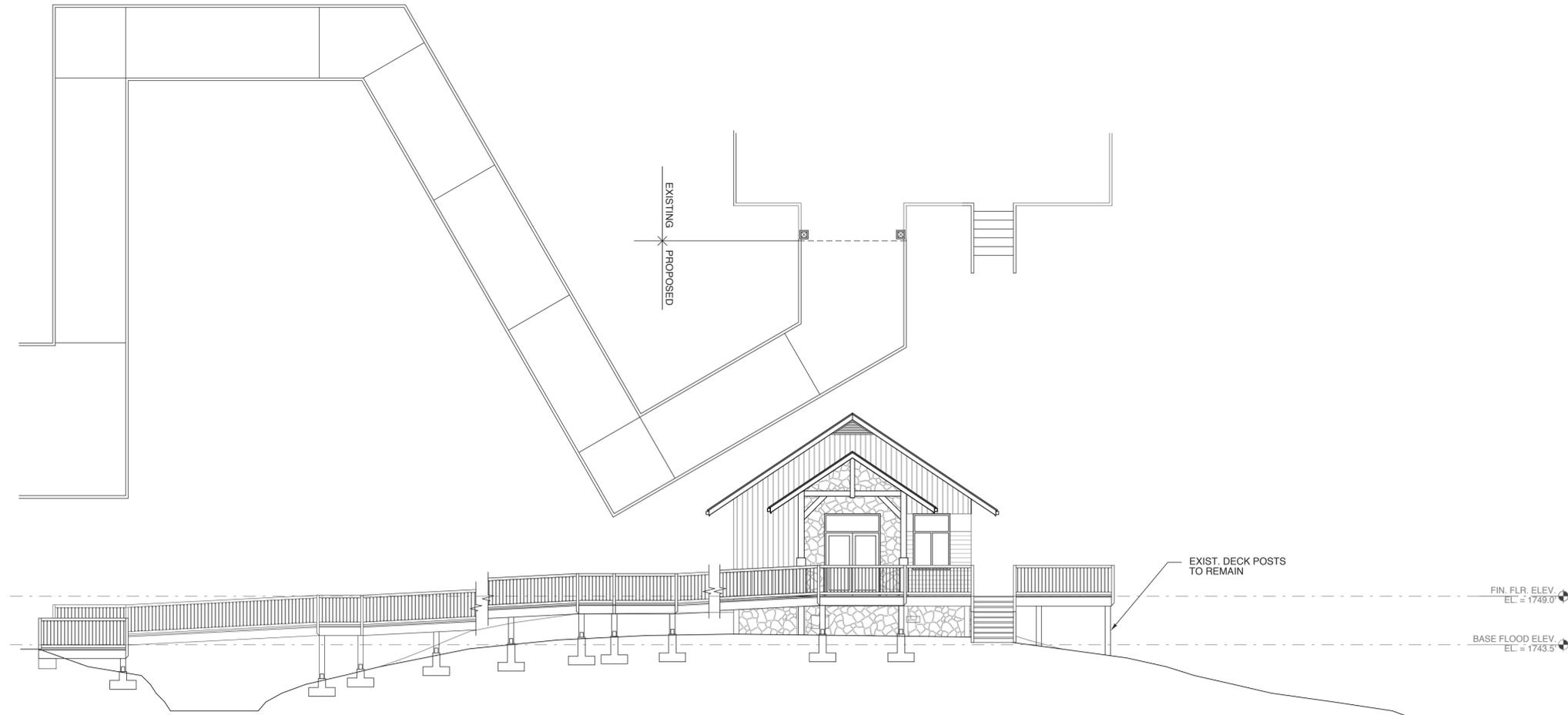


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1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

1 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 WALKWAY ELEVATION
SCALE: 1/8" = 1'-0"

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PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a

DRAWING TITLE
REV. ELEVATIONS

SHEET 13 OF 22

A2.2

PLOT DATE 10/18/16
REVISION 00/00/08

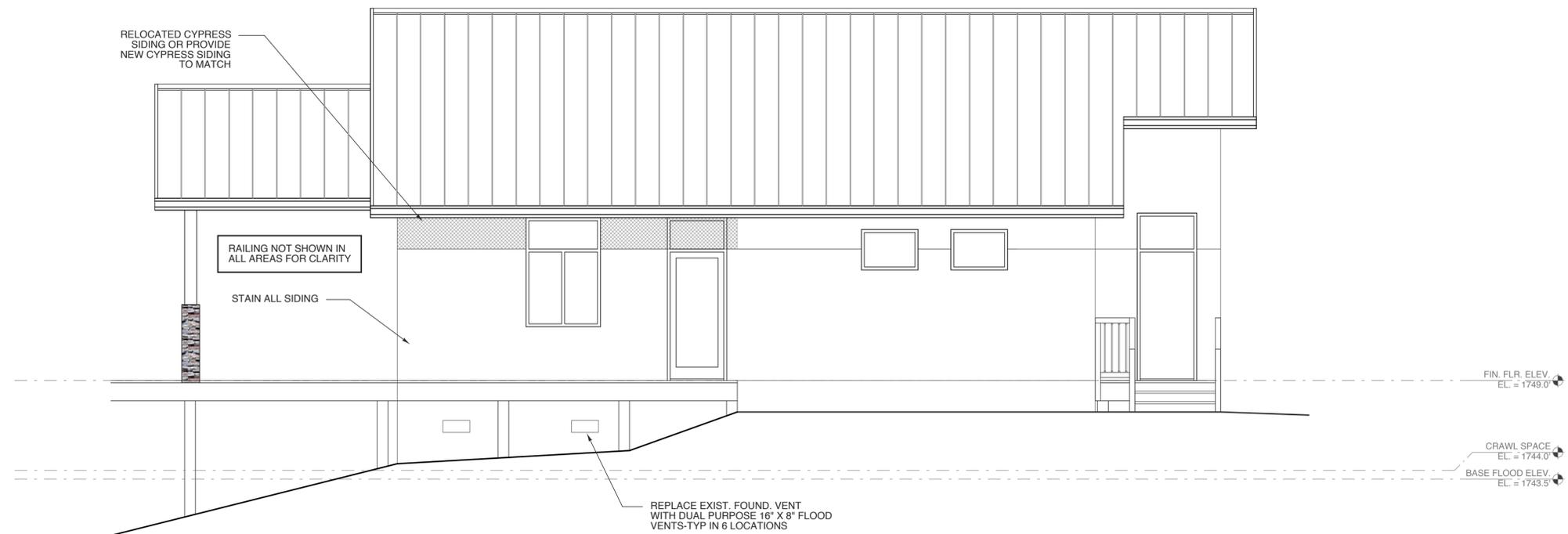
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1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

STATE ID# 16-16033-01A
WBS ELEMENT 51213.011

PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a

DRAWING TITLE
REV. ELEVATIONS

SHEET 14 OF 22

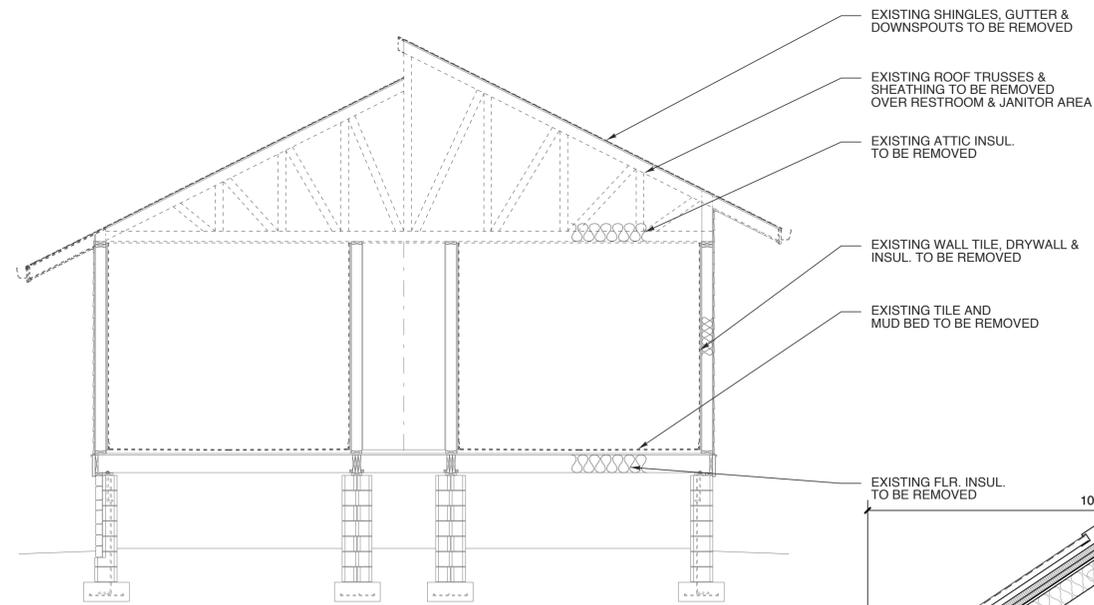
A2.3

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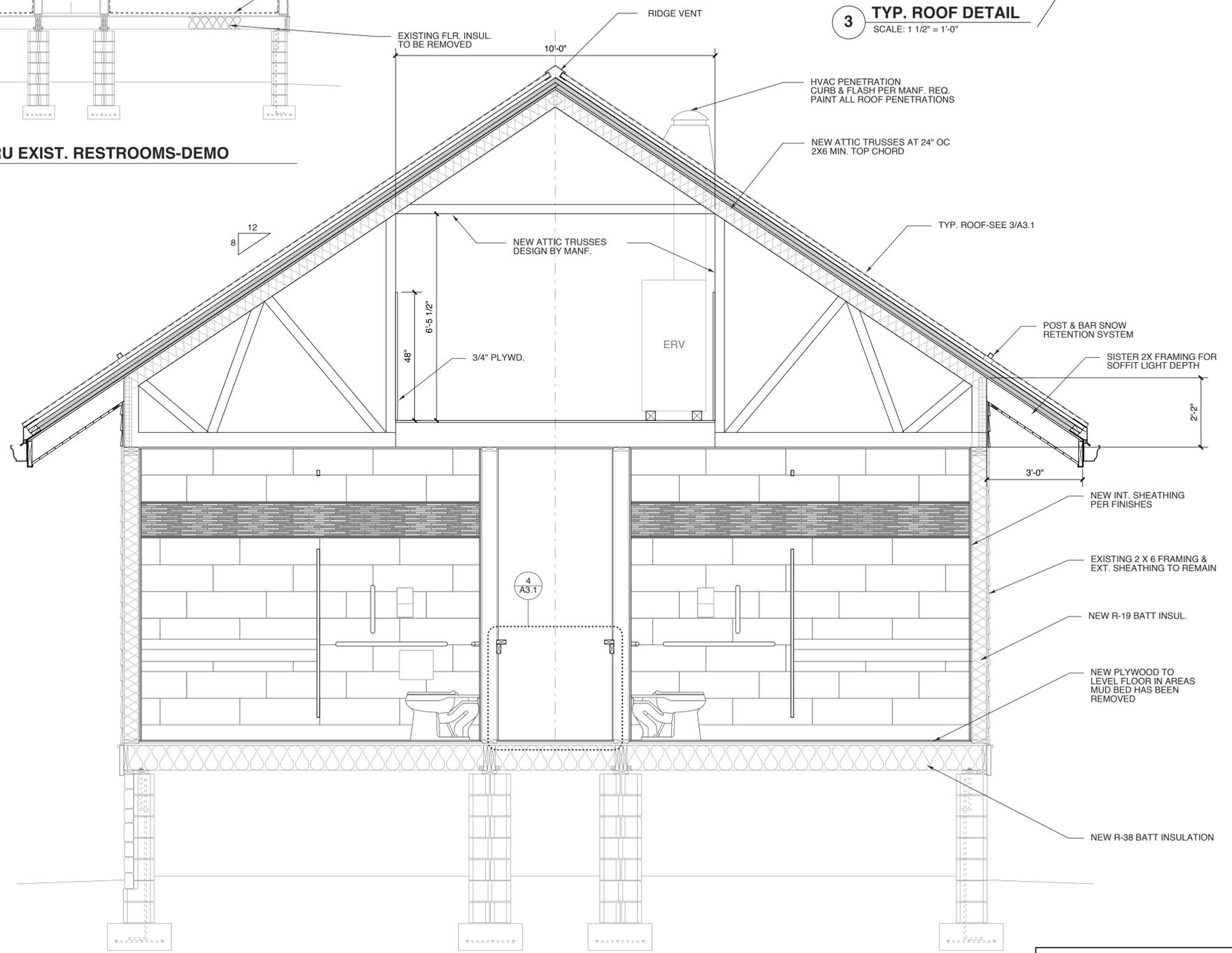
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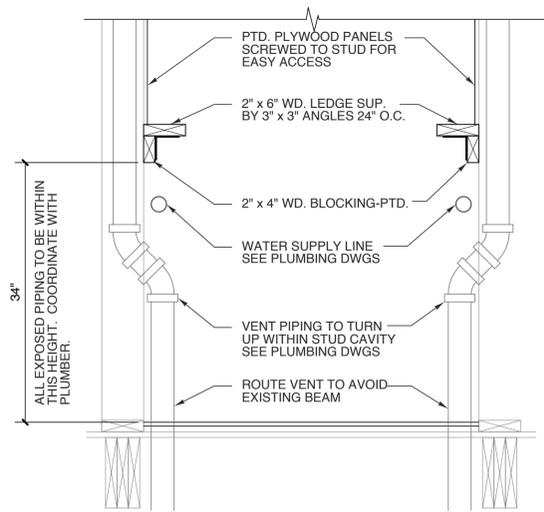
2 SECTION THRU EXIST. RESTROOMS-DEMO
SCALE: 1/4" = 1'-0"



3 TYP. ROOF DETAIL
SCALE: 1 1/2" = 1'-0"



1 SECTION THRU EXIST. RESTROOMS-REVISED
SCALE: 1/2" = 1'-0"



4 CHASE DETAIL
SCALE: 1" = 1'-0"

NOTE FROM EXIST. PROJECT-
BACKFILL WITH BORROW TO ELEV. 1744.0
BUILDING FOOTINGS TO BE EXCAVATED
TO BEAR ON EXISTING GRAVEL LAYER AT
APPROX. ELEV. 1738.00

STATE ID# 16-16033-01A
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PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a
DRAWING TITLE
BLDG. SECTIONS

SHEET 15 OF 22

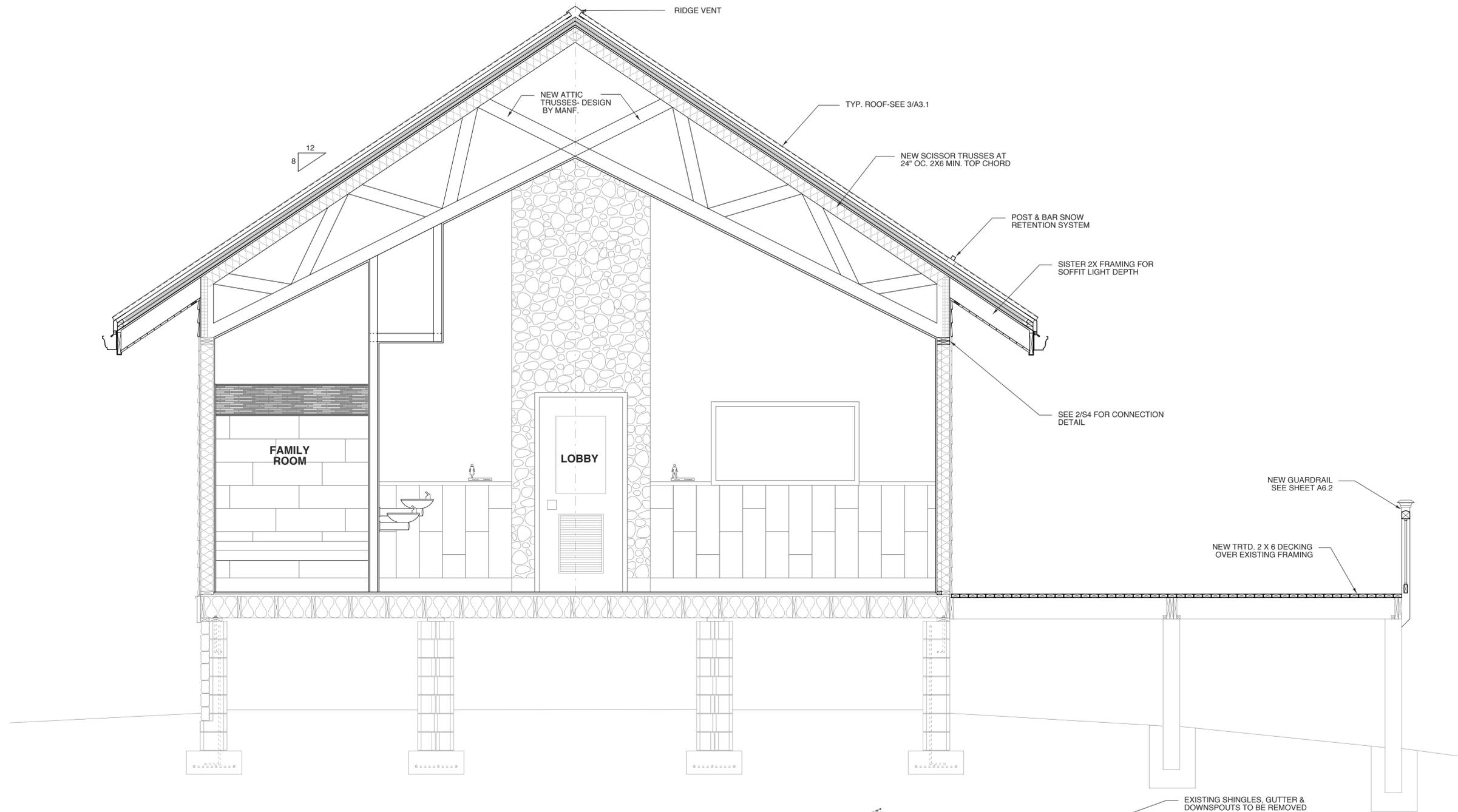
A3.1

PLOT DATE 10/18/16
REVISION 00/00/08

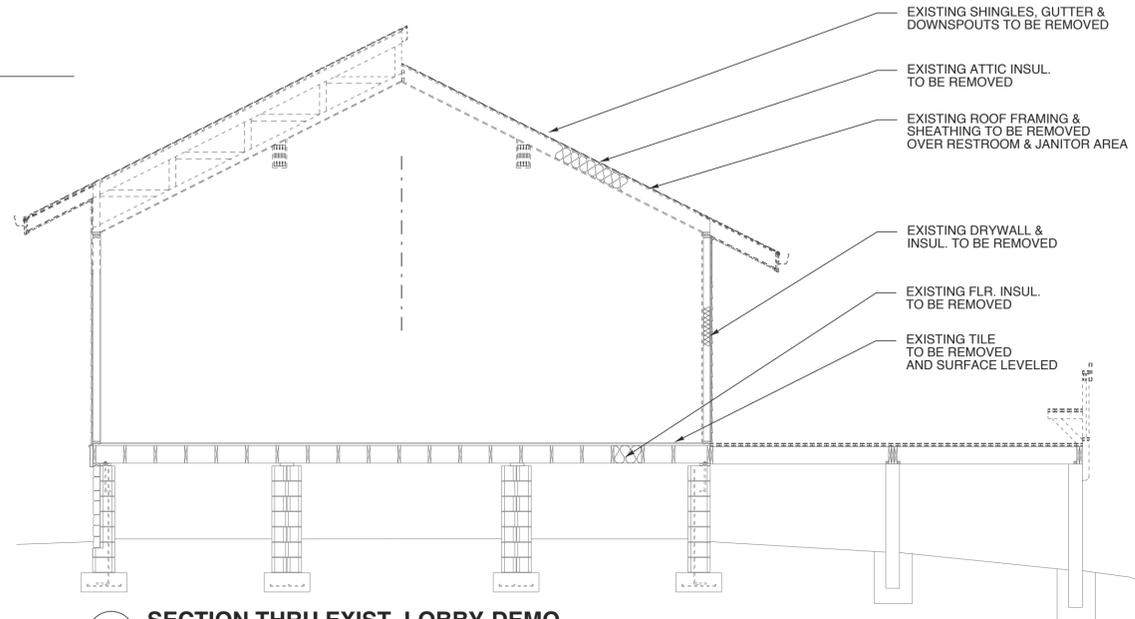
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1 SECTION THRU EXIST. LOBBY-REVISED
SCALE: 1/2" = 1'-0"



2 SECTION THRU EXIST. LOBBY-DEMO
SCALE: 1/4" = 1'-0"

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PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a

DRAWING TITLE
BLDG. SECTIONS

SHEET 16 OF 22

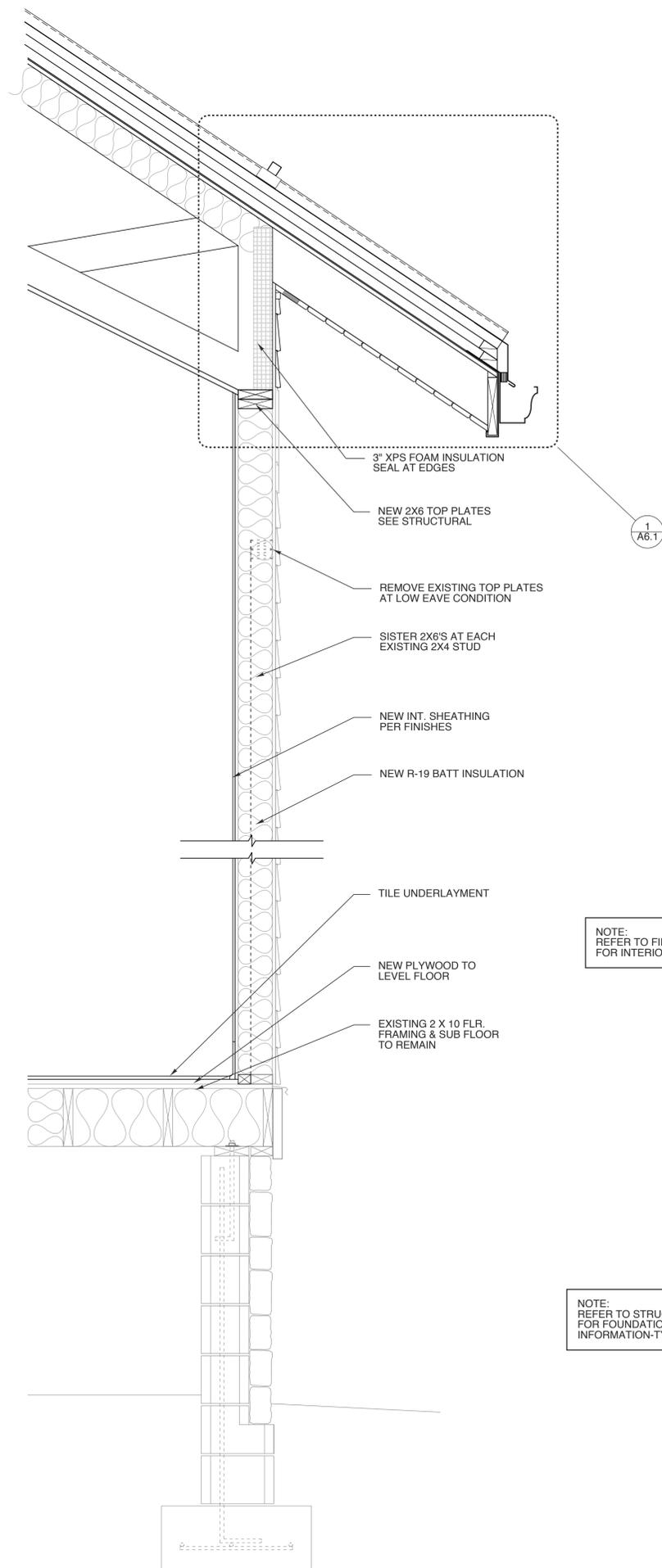
A3.2

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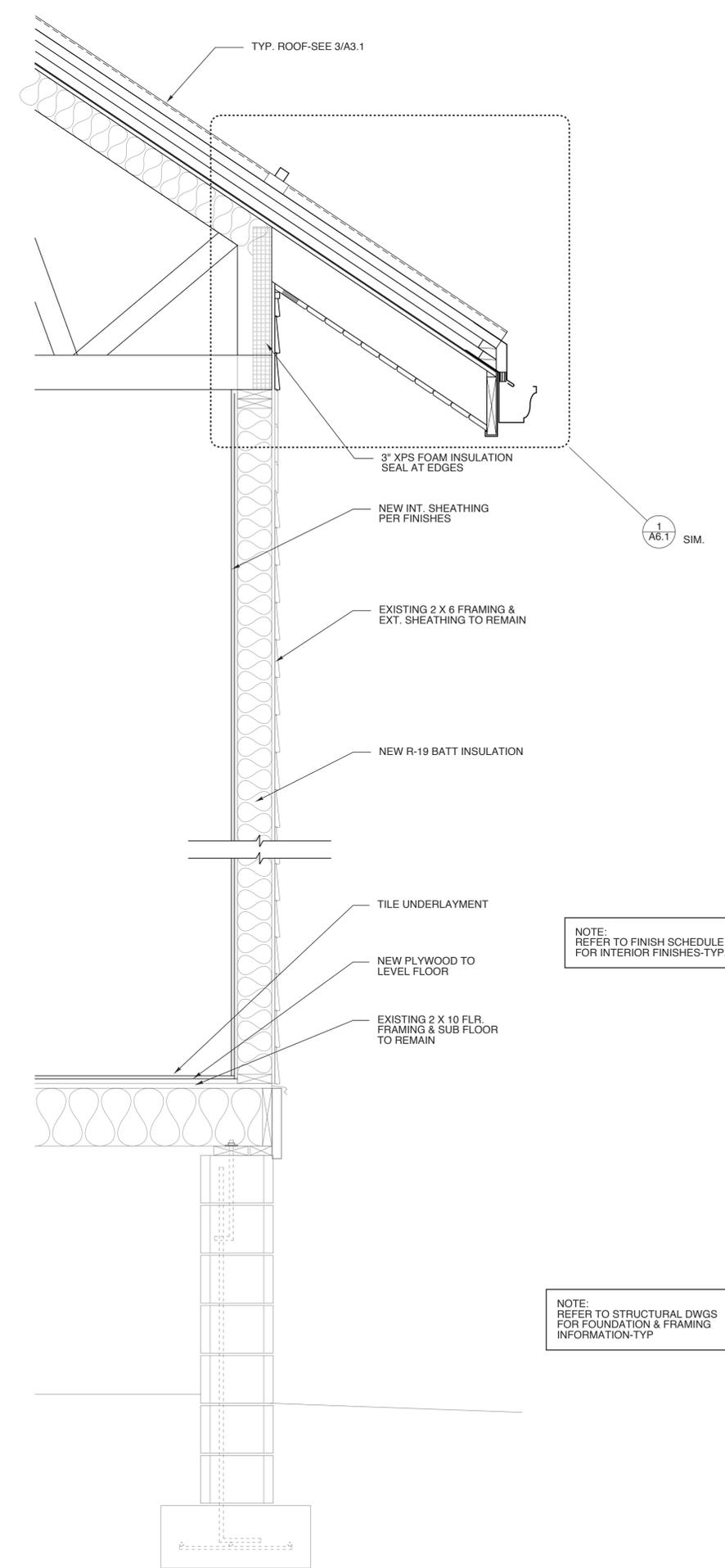
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NOTE:
REFER TO FINISH SCHEDULE
FOR INTERIOR FINISHES-TYP.

NOTE:
REFER TO STRUCTURAL DWGS
FOR FOUNDATION & FRAMING
INFORMATION-TYP.

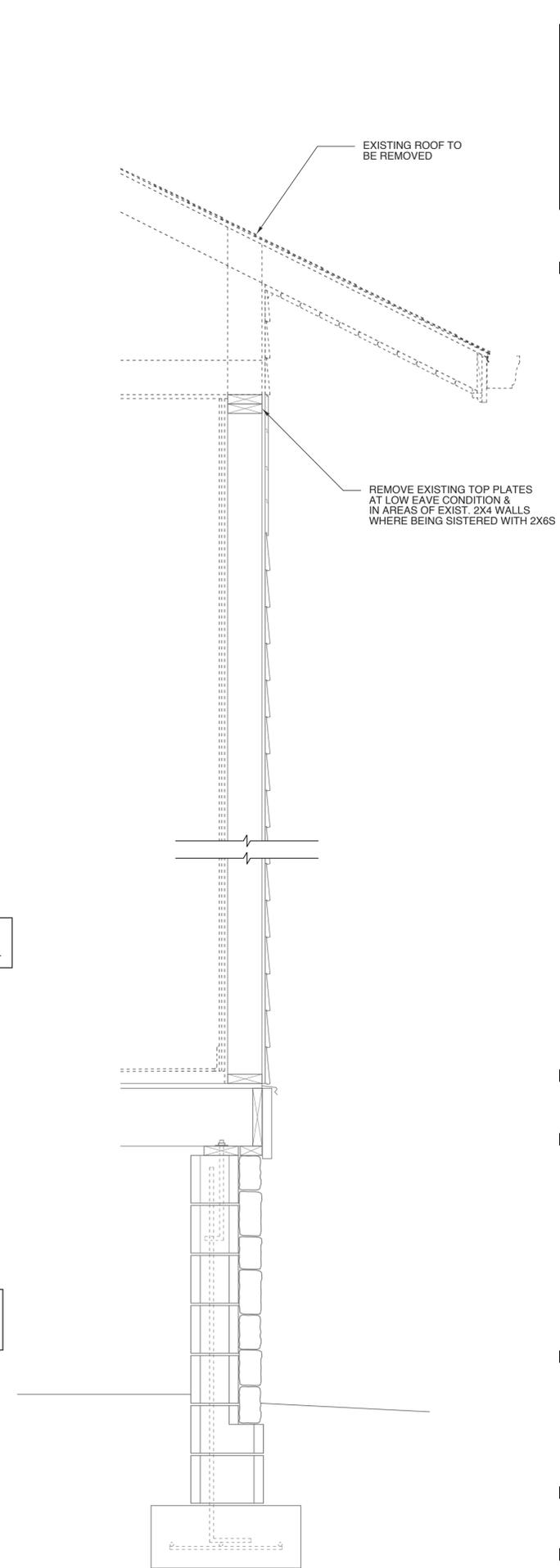
3 TYP. WALL SECT. @ SCISSOR TRUSS
SCALE: 1" = 1'-0"



NOTE:
REFER TO FINISH SCHEDULE
FOR INTERIOR FINISHES-TYP.

NOTE:
REFER TO STRUCTURAL DWGS
FOR FOUNDATION & FRAMING
INFORMATION-TYP.

2 TYP. WALL SECTION @ ATTIC TRUSS
SCALE: 1" = 1'-0"



1 DEMO WALL SECTION
SCALE: 1" = 1'-0"

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WBS ELEMENT 51213.011

PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
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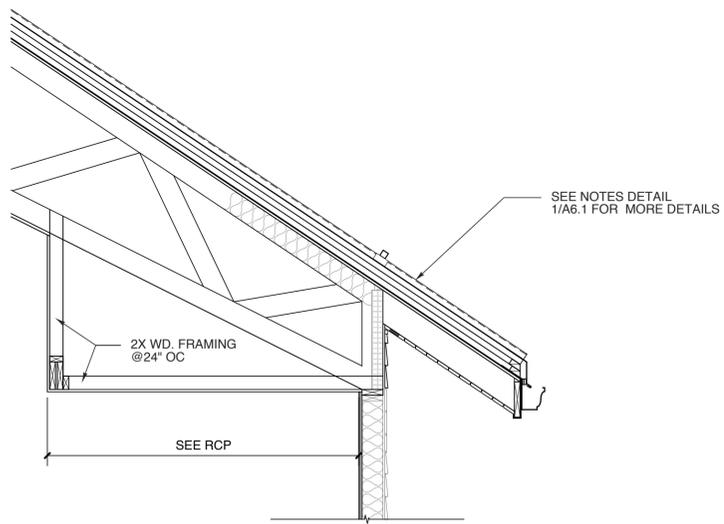
PROJECT NO.
1504a
DRAWING TITLE
WALL SECTIONS

SHEET 17 OF 22

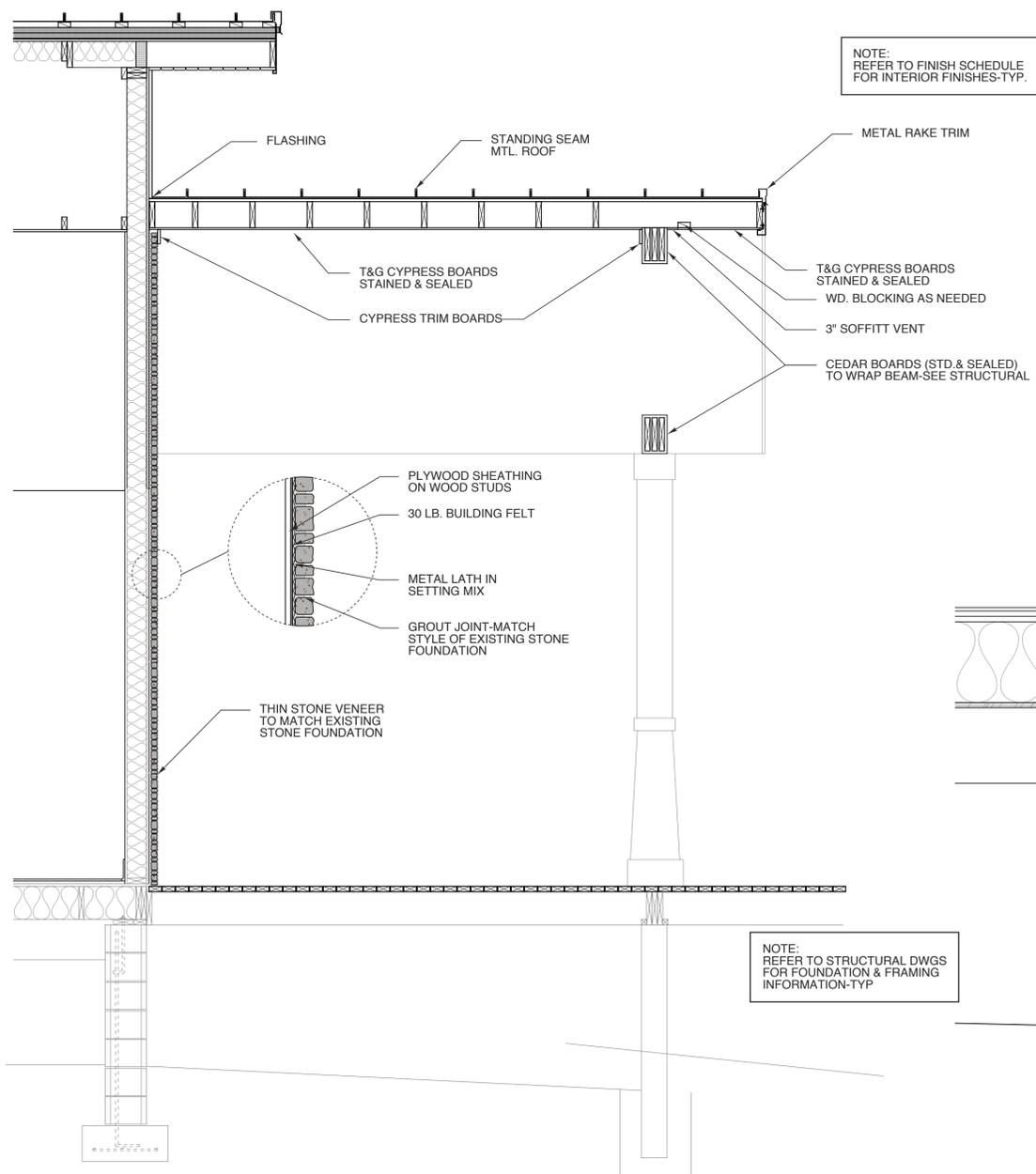
A4.1

PLOT DATE 10/18/16
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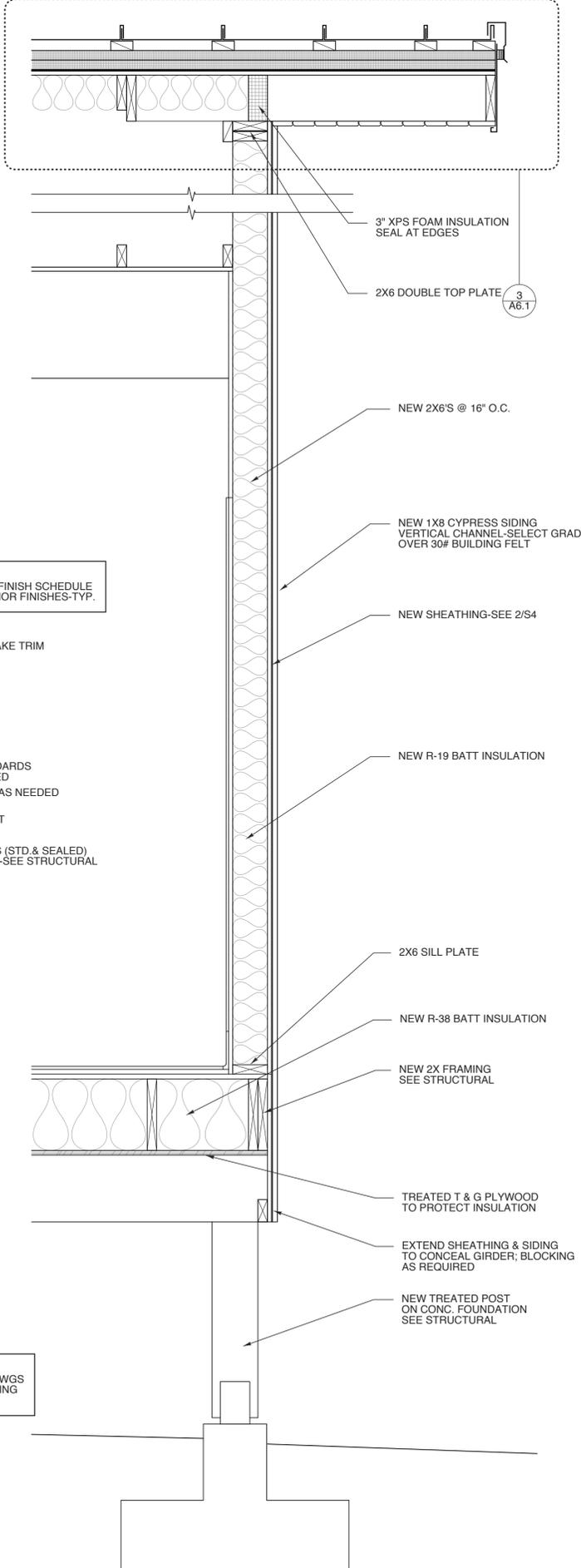
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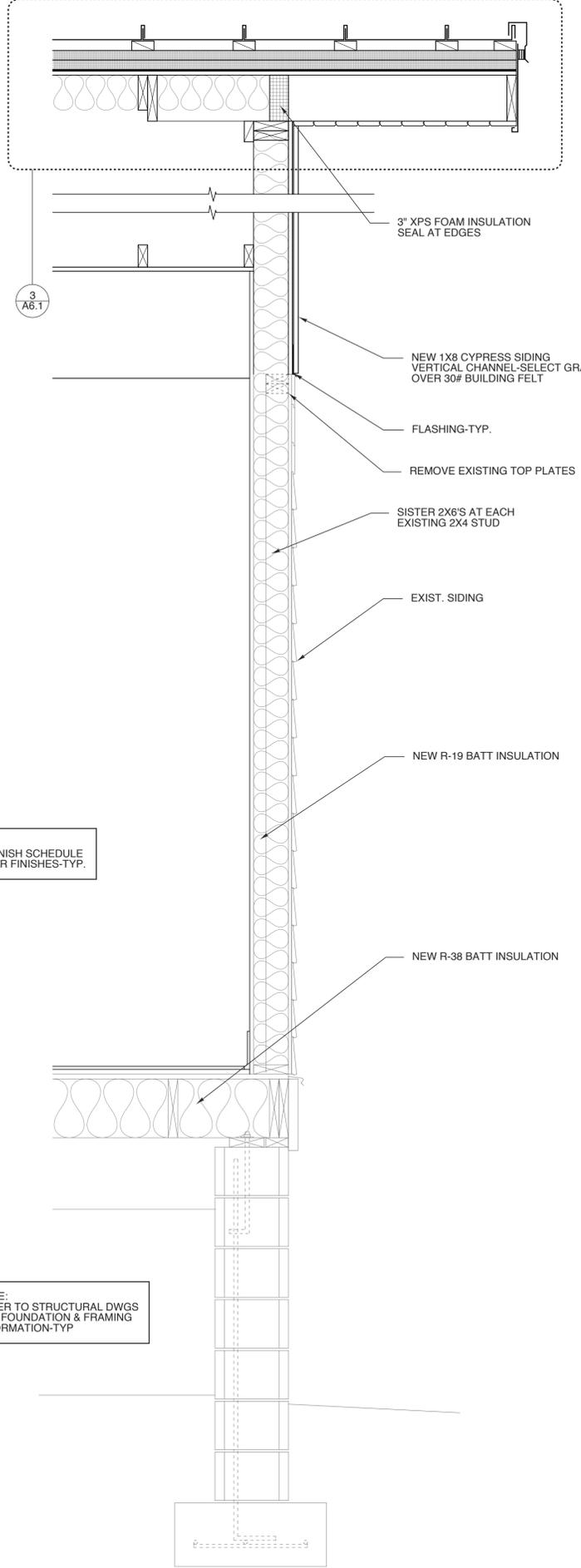
3 SECT. @ OVERFRAMING
SCALE: 1/2" = 1'-0"



4 SECTION THRU PORCH
SCALE: 1/2" = 1'-0"



2 WALL SECT. @ ADDITION
SCALE: 1" = 1'-0"



1 WALL SECT. @ GABLE
SCALE: 1" = 1'-0"



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PROJECT NO.
1504a
DRAWING TITLE
WALL SECTIONS

SHEET 18 OF 22

A4.2

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WINDOW SCHEDULE							
MARK	W	SIZE	H	TYPE	MATERIAL	GLASS	REMARKS
A	4'-2"	x	6'-1"	1	VINYL CLAD WOOD	1" INSUL. LOW E GLASS	SIZE TO MATCH EXISTING OPENING
B	4'-2"	x	6'-1"	2	VINYL CLAD WOOD	1" INSUL. LOW E GLASS	SIZE TO MATCH EXISTING OPENING OBSCURE GLASS
C	3'-0"	x	2'-0"	4	VINYL CLAD WOOD	1" INSUL. LOW E GLASS	SIZE TO MATCH EXISTING OPENING OBSCURE GLASS
D	2'-6"	x	4'-4"	3	VINYL CLAD WOOD	1" INSUL. LOW E GLASS	SIZE TO MATCH EXISTING OPENING

NOTES:
SEE WINDOW TYPE ELEVATIONS AND DETAILS.
FIELD VERIFY ALL DIMENSIONS.
INCLUDE THERMAL BREAK PER MANUFACTURER'S STANDARDS WITH ALL FRAMES.

DOOR SCHEDULE							
MARK	SIZE	DOOR		FRAME			REMARKS
		MAT'L	TYPE	TYPE	DETAILS	HDWR SET NO.	
1	2-3'-0" x 7'-0"	ALUM	A	A	---	1	DOORS TO COORDINATE TO OPEN AT SAME TIME-ALL 4 FOR AIR LOCK
2	2-3'-0" x 7'-0"	ALUM	A	A	---	1	
3	3'-0" x 7'-0" x 1-3/4"	ALUM	A	A	---	2	
4	3'-0" x 7'-0" x 1-3/4"	INSUL. MTL.	E	C	---	3	
5	3'-0" x 7'-0" x 1-3/4"	PREF. WD.	B	B	---	4	
6	3'-0" x 7'-0" x 1-3/4"	PREF. WD.	C	B	---	5	
7	3'-0" x 7'-0" x 1-3/4"	PREF. WD.	D	B	---	6	

NOTES:
- COORDINATE KEYING OF HARDWARE WITH OWNER
- DOOR HANDLES TO BE LEVER HANDLE

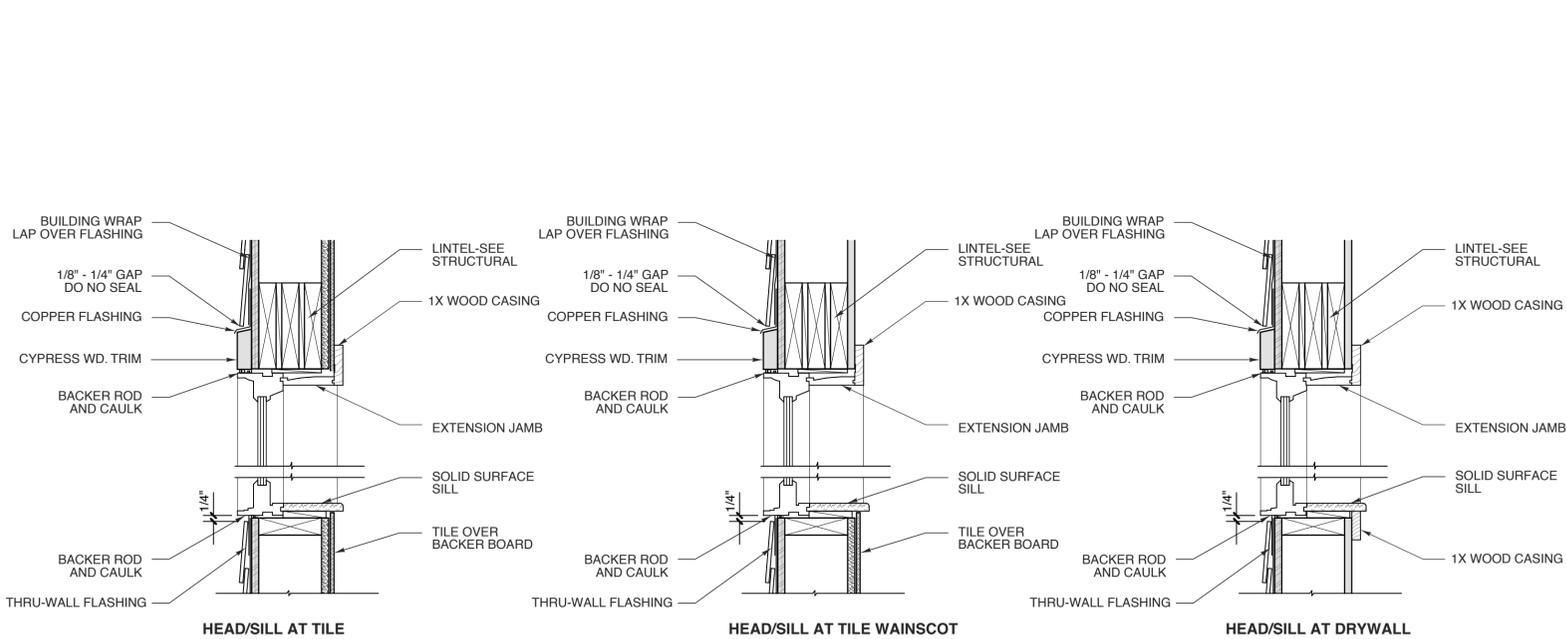
HARDWARE SETS
1. ADA DOOR OPERATOR
2. LOCK SET W/ CLOSER
3. PASSAGE SET
4. STOREROOM FUNCTION LOCKSET W/CLOSER
5. PASSAGE SET W/ CLOSER
SEE SPEC FOR REMAINDER OF HARDWARE SETS

ROOM FINISH SCHEDULE										
MARK	ROOM NAME	FLOOR	BASE	WALL			WAINSCOT	CEILING		REMARKS / NOTES
				N	E	S		W	MATERIAL	
101	COVERED PORCH	WD. DECK	NA	STONE VENEER	---	---	---	STD. CEDAR	SEE RCP	---
102	AIRLOCK	POR. TILE	POR. TILE	PTD. DW.	---	---	---	STD. CEDAR	SEE RCP	---
103	LOBBY	POR. TILE	POR. TILE	PTD. DW.	---	---	---	STD. CEDAR	SEE RCP	---
104	WOMEN	POR. TILE	POR. TILE	POR. TILE	---	---	---	PTD. DW.	EXIST.	---
105	ELEC	POR. TILE	POR. TILE	PTD. DW.	---	---	---	PTD. DW.	EXIST.	---
106	CHASE	POR. TILE	---	PTD. PLYWOOD	---	---	---	PTD. DW.	EXIST.	---
107	MEN	POR. TILE	POR. TILE	POR. TILE	---	---	---	PTD. DW.	EXIST.	---
108	FAMILY RESTROOM	POR. TILE	POR. TILE	TILE TO BORDER PTD. DW. ABOVE	---	---	---	PTD. DW.	SEE RCP	---
109	STORAGE	POR. TILE	POR. TILE	PTD. DW.	---	---	---	PTD. DW.	EXIST.	---

SEE INT. ELEVATIONS (A1.7) AND FINISH PLAN (A1.6) FOR MORE INFORMATION ON WALL FINISHES.



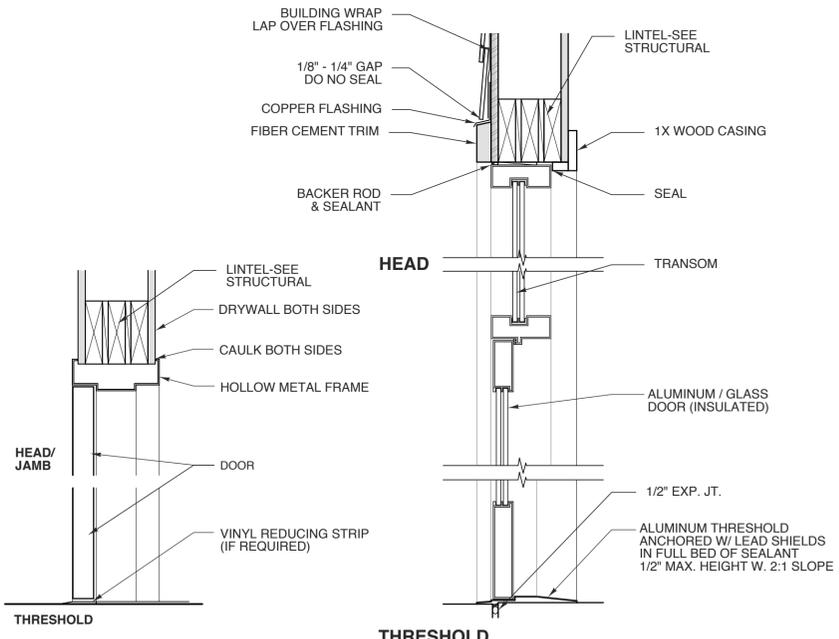
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8 PICTURE WINDOW DETAILS
SCALE: 1-1/2" = 1'-0"

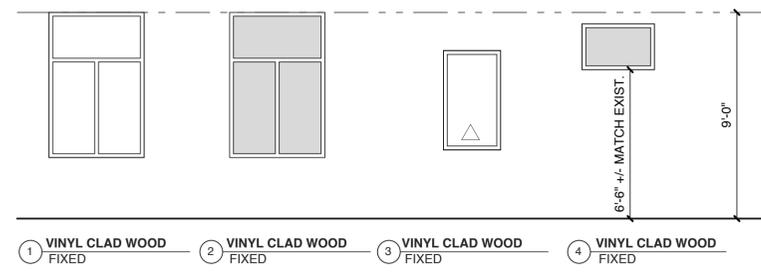
7 PICTURE WINDOW DETAILS
SCALE: 1-1/2" = 1'-0"

6 PICTURE WINDOW DETAILS
SCALE: 1-1/2" = 1'-0"

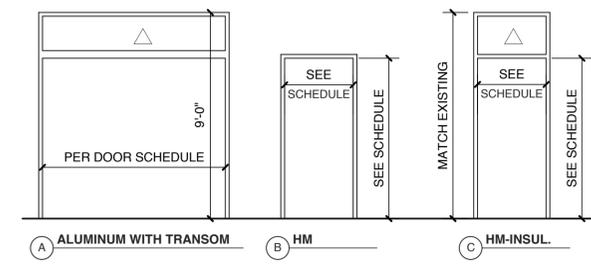


5 INT. HM FRAME
SCALE: 1 1/2" = 1'-0"

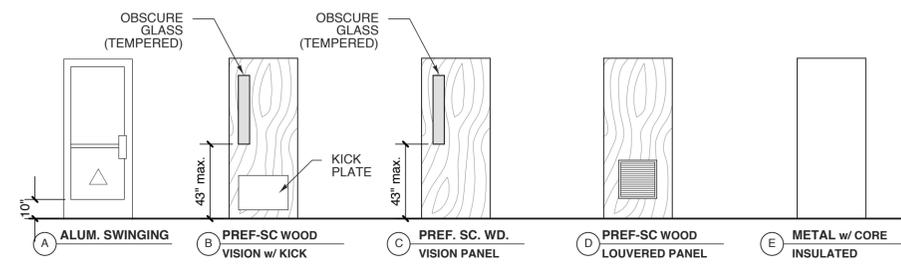
4 STOREFRONT DOOR
SCALE: 1-1/2" = 1'-0"



3 WINDOW TYPES
SCALE: 1/4" = 1'-0"
△ INDICATES TEMPERED GLASS



2 DOOR FRAME TYPES
SCALE: 1/4" = 1'-0"
△ INDICATES TEMPERED GLASS BOTH PANES OF INSULATED PANEL



1 DOOR TYPES
SCALE: 1/4" = 1'-0"
△ INDICATES TEMPERED GLASS BOTH PANES OF INSULATED PANEL

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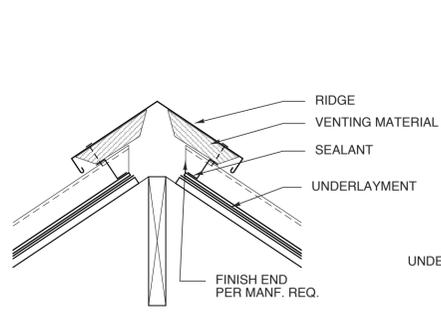
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SCHEDULES/DETAILS

SHEET 19 OF 22

A5.1

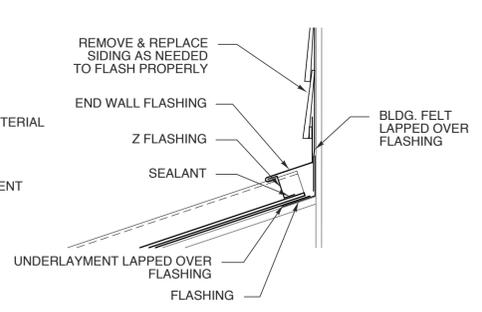
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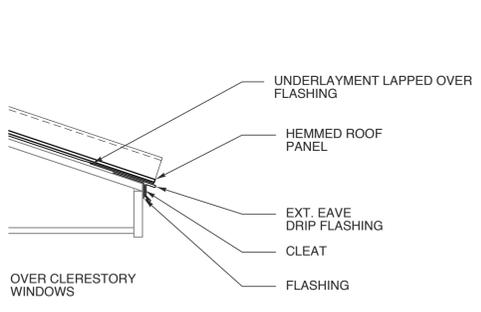
ALL ELEMENTS TO BE INSTALLED PER MANF. REQ.

16 RIDGE VENT
SCALE: 1 1/2" = 1'-0"



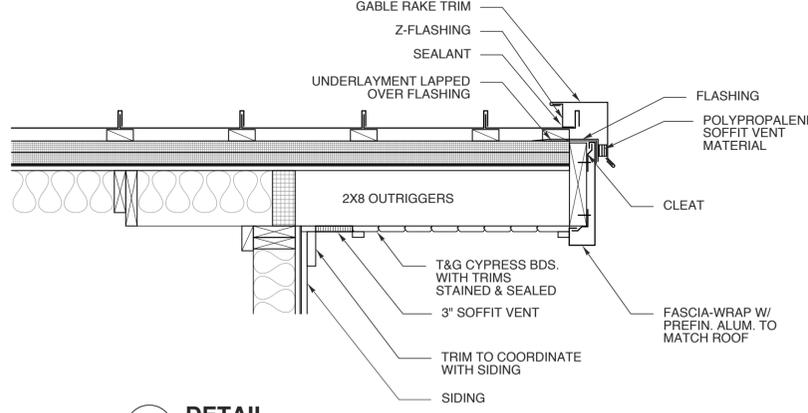
ALL ELEMENTS TO BE INSTALLED PER MANF. REQ.

15 END WALL FLASHING
SCALE: 1 1/2" = 1'-0"

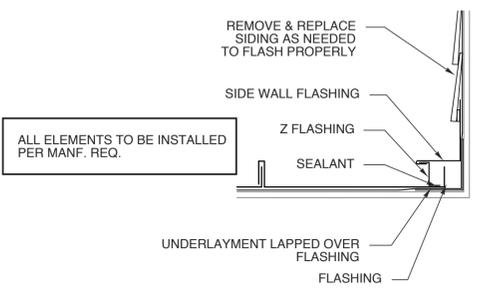


ALL ELEMENTS TO BE INSTALLED PER MANF. REQ.

14 DRIP EAVE DETAIL
SCALE: 1 1/2" = 1'-0"

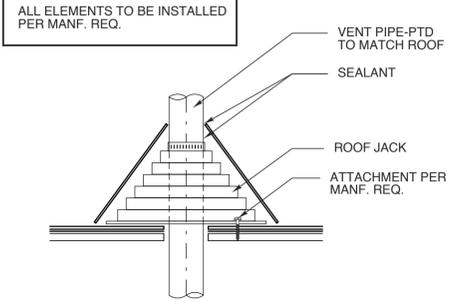


3 DETAIL
SCALE: 1" = 1'-0"



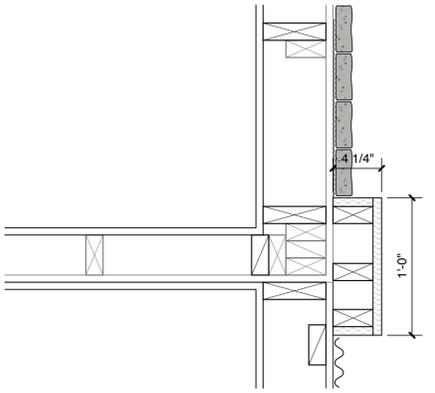
ALL ELEMENTS TO BE INSTALLED PER MANF. REQ.

18 SIDE WALL FLASHING
SCALE: 1 1/2" = 1'-0"

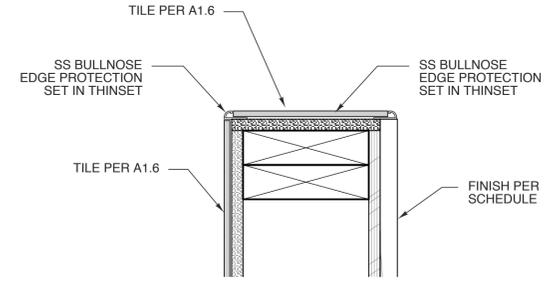


ALL ELEMENTS TO BE INSTALLED PER MANF. REQ.

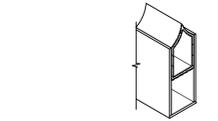
11 VENT DETAIL
SCALE: 1 1/2" = 1'-0"



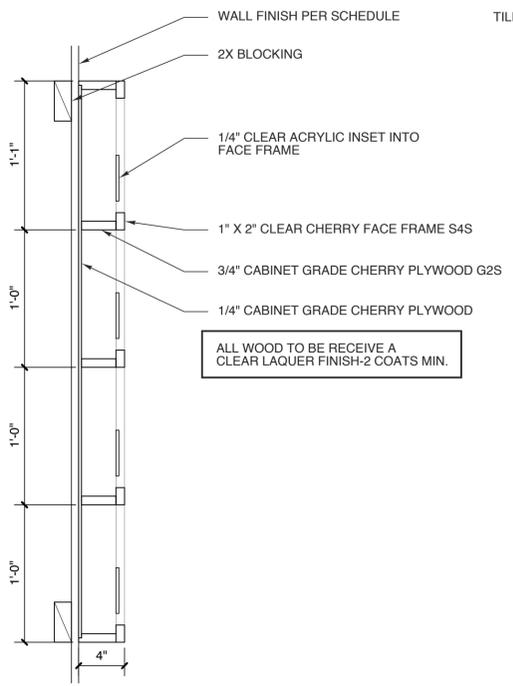
2 ENGAGED COLUMN DETAIL
SCALE: 1 1/2" = 1'-0"



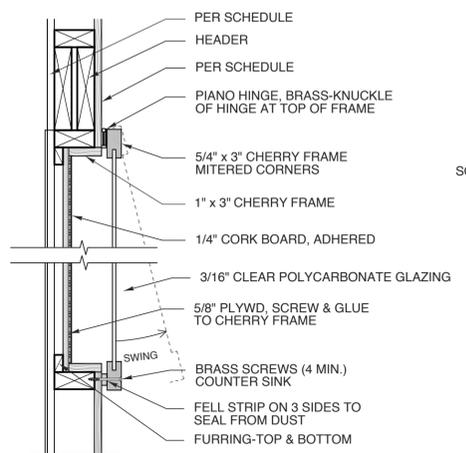
6 OUTSIDE CORNER/END WALL
SCALE: 3" = 1'-0"



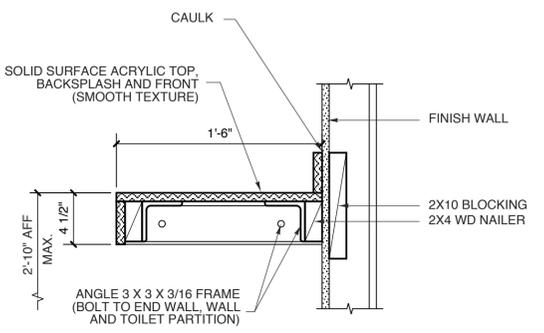
6 ANTI-GRIP HEADRAIL DETAIL
SCALE: NTS



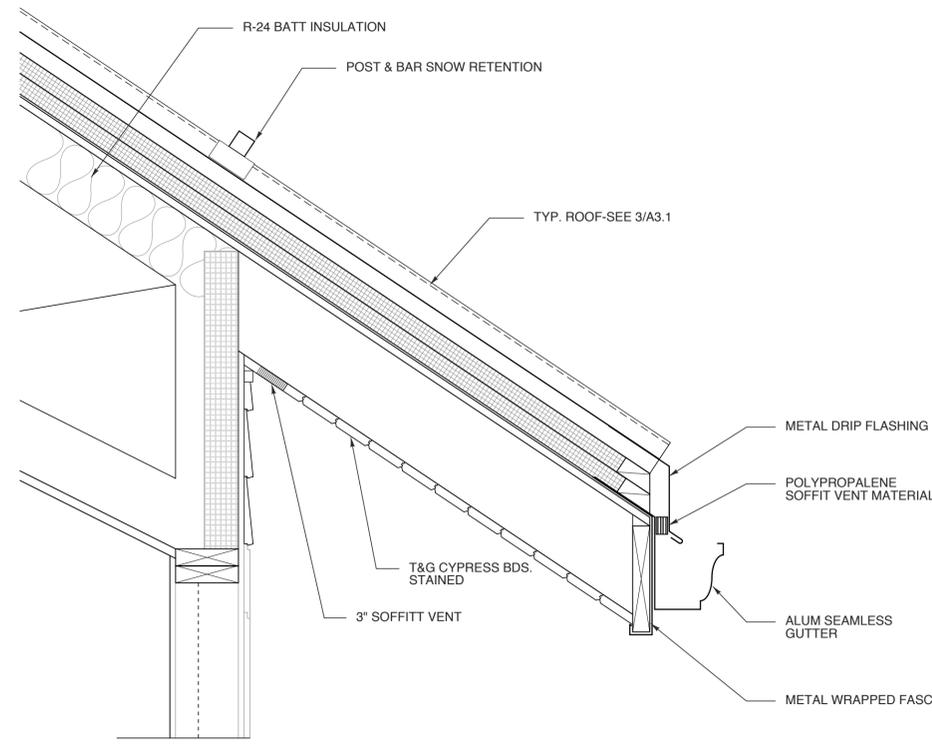
7 BROCHURE DISPLAY
SCALE: 1 1/2" = 1'-0"



5 DISPLAY DETAIL
SCALE: 1 1/2" = 1'-0"



4 CHANGING TABLE
SCALE: 1 1/2" = 1'-0"



1 SOFFIT
SCALE: 1 1/2" = 1'-0"

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PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

PROJECT NO.
1504a
DRAWING TITLE
DETAILS

SHEET 20 OF 22

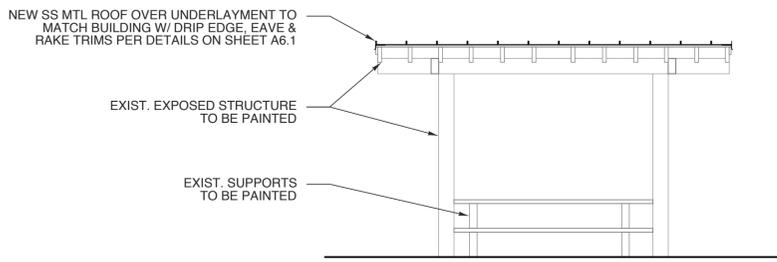
A6.1

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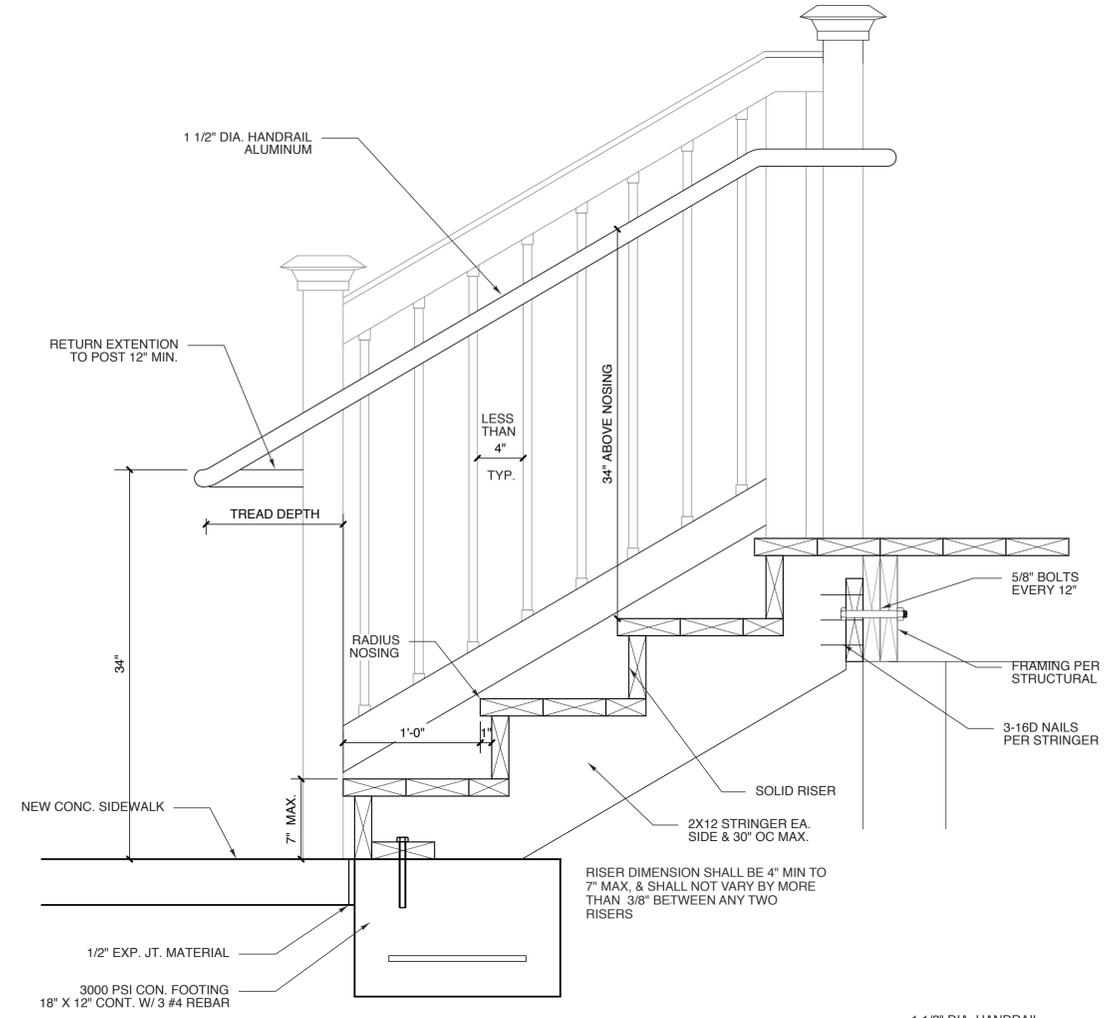
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Ginger S. Anderson
E9028345652C422
10/19/2016



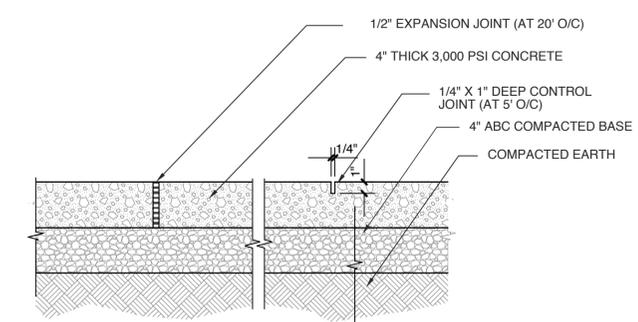
9 SHELTER - SECTION
SCALE: 1/4" = 1'-0"

6 DELETED
SCALE: 1/4" = 1'-0"

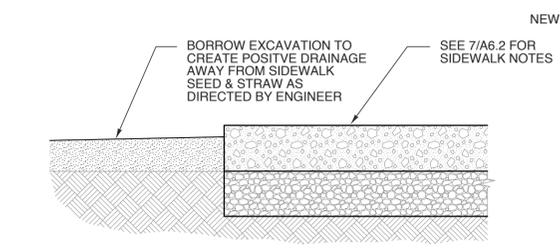
1 DELETED
SCALE: 1/4" = 1'-0"



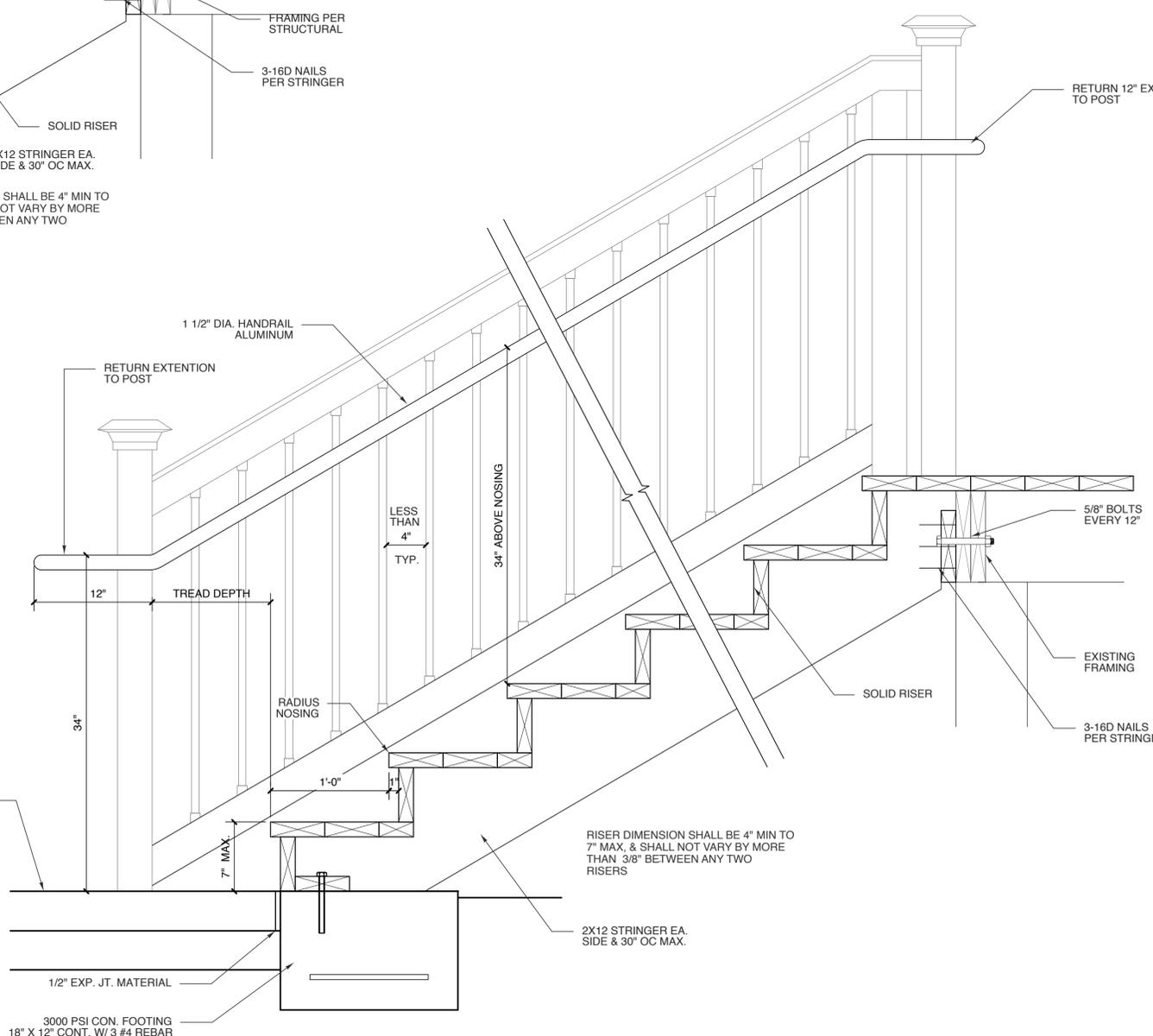
5 STAIR PROFILE DETAIL
SCALE: 1 1/2" = 1'-0"



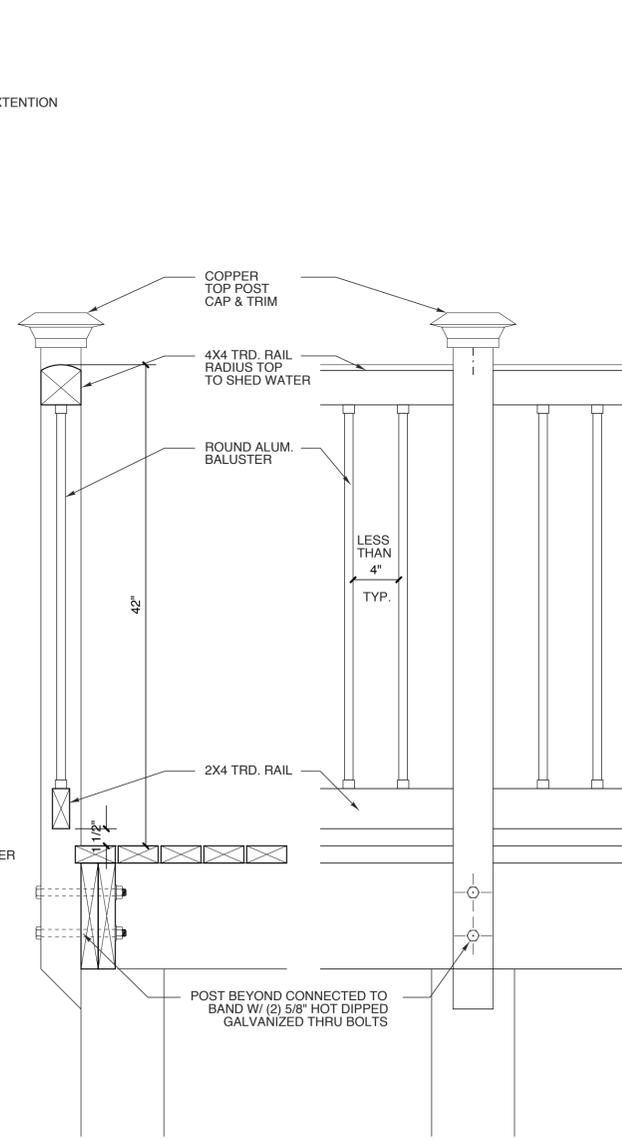
7 CONCRETE WALK DETAILS
SCALE: 1 1/2" = 1'-0"



8 CONCRETE WALK DETAILS
SCALE: 1 1/2" = 1'-0"



4 STAIR PROFILE DETAIL
SCALE: 1 1/2" = 1'-0"



3 GUARDRAIL-SECT.
SCALE: 1 1/2" = 1'-0"

2 GUARDRAIL-ELEV.
SCALE: 1 1/2" = 1'-0"

STATE ID# 16-16033-01A
WBS ELEMENT 51213.011

PROJECT TITLE
**CHEROKEE COUNTY
REST AREA**
US 19 AND COVER STREET
ANDREWS, NORTH CAROLINA

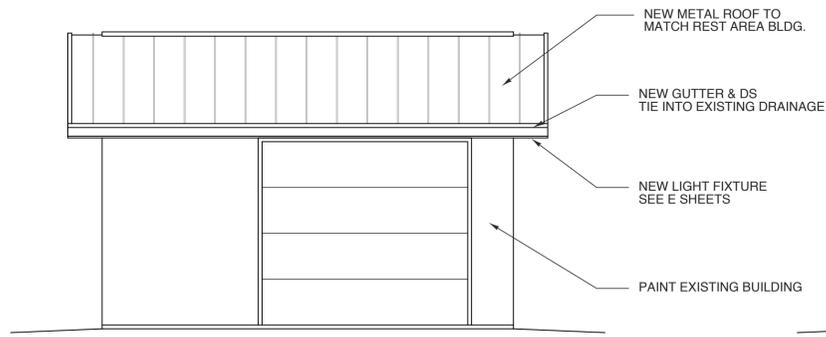
PROJECT NO.
1504a
DRAWING TITLE
DETAILS

SHEET 21 OF 22

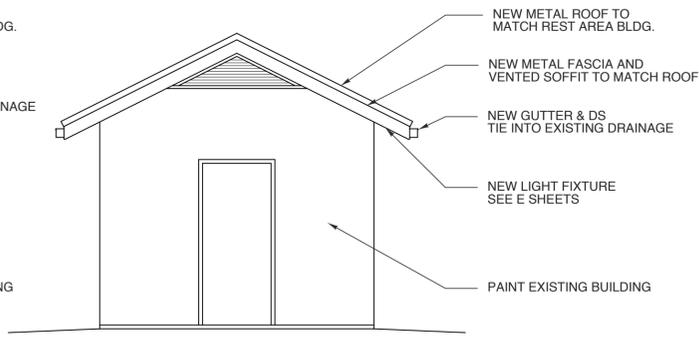
A6.2

PLOT DATE 10/18/16
REVISION 00/00/08

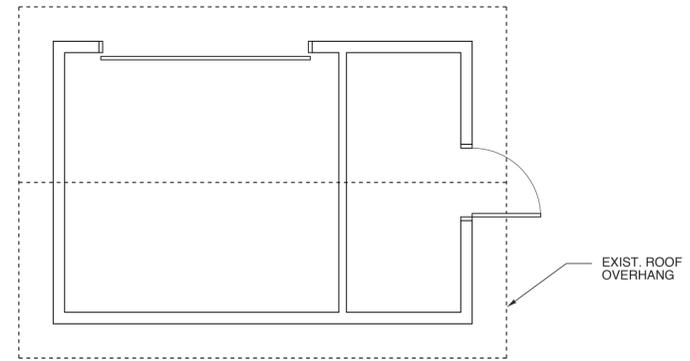
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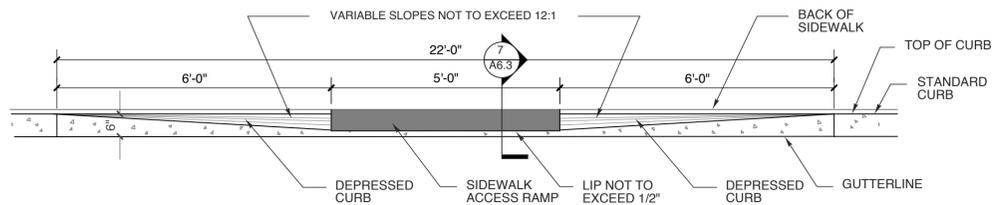
6 ELEVATION
SCALE: 1/4" = 1'-0"



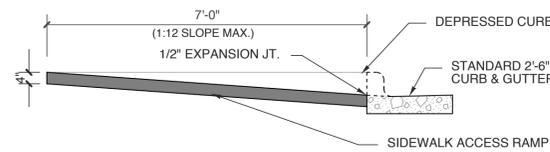
5 ELEVATION
SCALE: 1/4" = 1'-0"



4 STORAGE BUILDING-existing
SCALE: 1/4" = 1'-0"

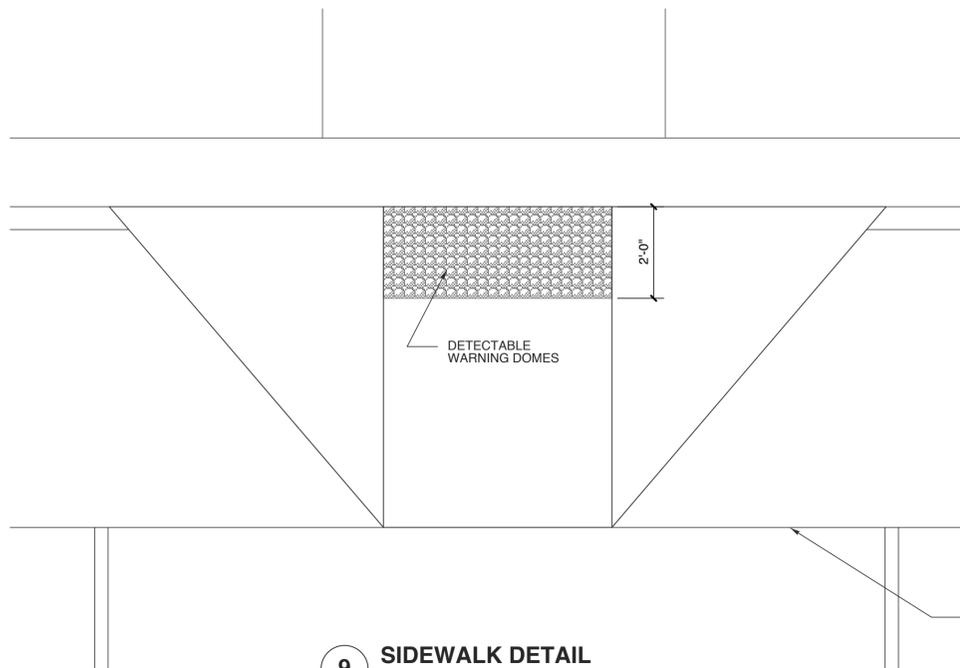


8 HC CURB RAMP
SCALE: NOT TO SCALE

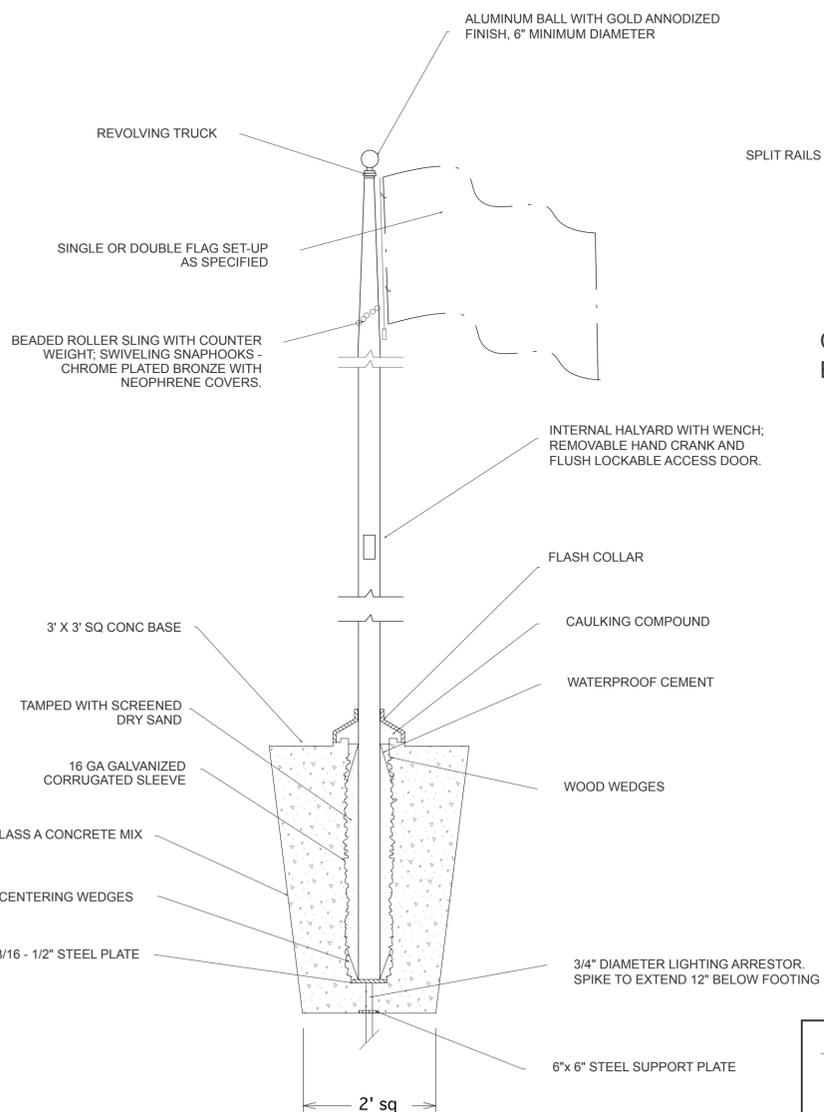


SEE ALSO STANDARD NCDOT DETAIL 848.05 FOR ADDITIONAL REQUIREMENTS

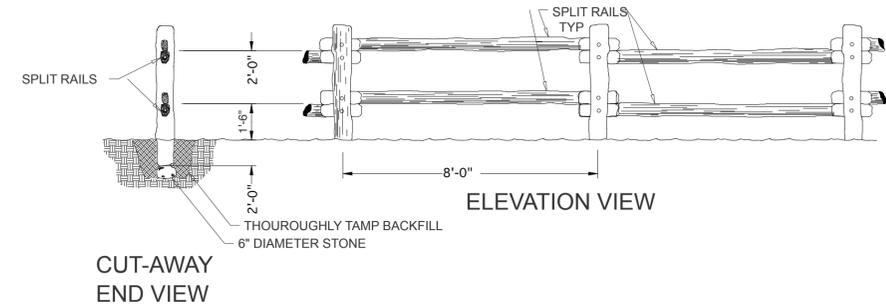
7 SIDEWALK DETAIL
SCALE: NOT TO SCALE



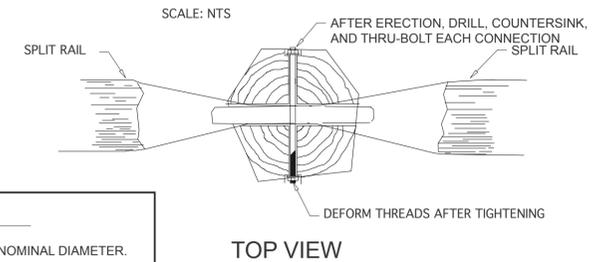
9 SIDEWALK DETAIL
SCALE: NOT TO SCALE



3 FLAG POLE DETAIL
SCALE: NTS



2 FENCE-POST AND RAIL
SCALE: NTS



1 FENCE-CONNECTION DETAIL
SCALE: NTS

- MATERIALS:**
- 1) POSTS - 6" NOMINAL DIAMETER.
 - 2) RAILS - 4" NOMINAL DIAMETER
 - 3) BOLTS, NUTS, AND WASHERS, 1/2" DIAMETER GALVANIZED



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Ginger S. Anderson
10/19/2016