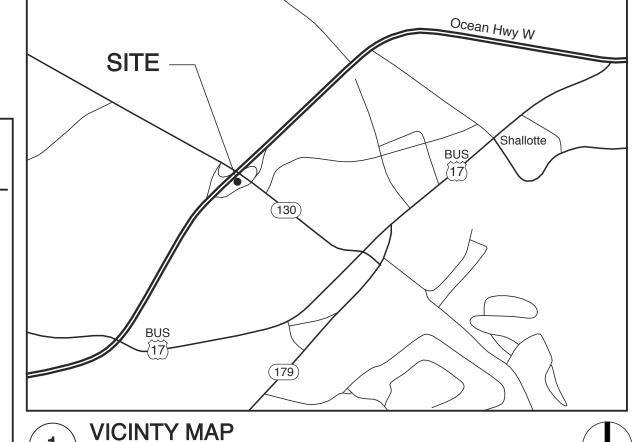
BRUNSWICK COUNTY REST AREA RENOV. US 17 AT NC 130 SHALL OTTE NO

	INSURANCE 2 MARY FOR ALL COMME ELINGS AND TOWNHOUSES ATAON THE BUILDING PLANS SHE	RCIAL PROJECTS		NC
ame Of Project: ddress: ip Code: wner Or Authorized Agent:	BRUNSWICK COUNT 394 WHITEVILLE ROA 28470 W. S. Architects, PA	AD NW, SHALLOTTE, Pho	NC ne: (919) 779-9797	
Owned By: Code Enforcement Jurisdiction	[] City/County n: [] Town	E-m [] Private [] County	ail ginger@wsarchi [X]Sta [X]Sta	te
Designer FII	SSIONAL: W. S. ARCHI RM NAME Architects Ginger S. Sur	ITECTS, PA LIC. # TELEPI mmer 11075 (919) 7		E-MAIL sarchitectspa.com
lectrical: Burke De ire Alarm: Burke De lumbing: Burke De lechanical: Burke De prinkler-Standpipe: Lysaght letaining Walls >5' High:	 sign Group Benjamin E. E	Burke 22038 (919) 7 Burke 22038 (919) 7 Burke 22038 (919) 7 ffolino 15887 	 71-1916 benbu 71-1916 benbu 	rke@nc.rr.com rke@nc.rr.com rke@nc.rr.com ghtassociates.com
Other: 2018 NC BUILDING CO	DE: [] New Building	[] Shell/Core	[] 1st Time Interior	Completions
2018 NC EXISTING BUILDIN	[X] Addition	[] Phased Conse [] Alteration Le	struction - Shell Corevel I [] evel II []	e Historic Property
RENOVATED:	,	CURRENT OCCUPA ROPOSED OCCU Current: II Propose	PANCY(S) (Ch. 3	
BASIC BUILDING DATA CONSTRUCTION TYPE:	[]I-A []II-A []III			
SPRINKLERS: STANDPIPES: PRIMARY FIRE DISTRICT: SPECIAL INSPECTIONS REQUIRED:	[X] NO CLASS []I	I-B [X]V- []NFPA 13 []II []III OOD HAZARD AREA:	[] NFPA 13R	RY
GROSS BUILDING ARE	EXISTING (SF)	NEW (SF)	SUB-TOTAL	TENANT
3RD FLOOR 2ND FLOOR MEZZANINE	 600	` ´ 	 600	
1ST FLOOR BASEMENT TOTAL	2,435 3,036	268 268	2,703 3,303	
PRIMARY OCCUPANCY: [] ASSEMBLY [X] BUSINESS [] EDUCATIONAL [] FACTORY [] HIGH-HAZARD [] INSTITUTIONAL	[] H-1 Detonate [] H-]F-2 Low		Health []H-5 HPM
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[] MERCANTILE [] RESIDENTIAL [] STORAGE []UTILITY & MISCELLANEO	I-2 Condition [] 1 [I-3 Condition [] 1 [[] R-1 [] R-2 [] R-3 [[] S-1 Moderate [[] PARKING GARAGE [OUS]2 []3 []4]R-4]S-2 Low []HIG	iH-PILED] REPAIR GARAGE
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1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

	NTS	G CODE	SUMMARY			CONT	INUE
BUILDING ELEMENT	FIRE SEP'N DIST. (FT)	RATING REQ'D	RATING PROV'D (W/* REDUCTION)	DETAIL # AND SHEET #	DES. # FOR RATED ASS'Y	DES. # FOR RATED PENET'N	DES. FOR RATE
STRUCTURAL FRAME, INCLUDING COLUMNS GIRDERS, TRUSSES BEARING WALLS EXTERIOR	≥ 30'	0	0				
NORTH EAST WEST SOUTH			 	 		 	
INTERIOR NONBEARING WALLS AND PARTITIONS							
EXTERIOR NORTH EAST WEST	≥ 30' ≥ 30' ≥ 30'	0 0 0	0 0 0	 		 	
SOUTH INTERIOR WALL & PARTITIONS FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	≥ 30'	0 0 	0 0 	 	 	 	
FLOOR CEILING ASSEMBLY COLUMNS SUPPORTING FLOOR ROOF CONSTRUCTION	S		 	 		 	
INCLUDING SUPPORTING BEAMS AND JOISTS ROOF CEILING ASSEMBLY		0	0				
COLUMNS SUPPORTING ROOF SHAFTS ENCLOSURES-EXIT SHAFTS ENCLOSURES-OTHER			 				
CORRIDOR SEPARATION OCCUPANCY/FIRE BARRIER SEPARATION							
PARTY/FIRE WALL SEPARATION SMOKE BARRIER SEPARATION SMOKE PARTITION			 	 	 	 	
TENANT/DWELLING UNIT/SLEEPING UNIT SEPARATION INCIDENTAL USE SEPARATION							
*INDICATE SECTION NO. PERMITTING	REDUC	CTION					
PERCENTAGE OF WALL OPEN	IING C	ALCULAT	TIONS				
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEG OPE PRO (TABI	REE OF ENINGS FECTION LE 705.8)	ALLOWAB AREA (%)	0	JAL SHOW N PLANS (%)	٧N	
	MENTS	 S					
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VICINTY MAP SCALE: NTS

NC DEPT. OF INSURANCE 2018 APPENDIX B BUILDING CODE SUMMARY

COM*check* Software Version COMcheckWeb

Designer/Contractor:

CONTINUED

Envelope Compliance Certificate

90.1 (2013) Standard

Brunswick

Project Information

Energy Code: Project Title: Climate Zone: Project Type: Vertical Glazing / Wall Area:

Shallotte, North Carolina **New Construction** EnergyPlus 8.1.0.009 (EPW: USA_NC_Wilmington.Intl.AP.723013_TMY3.epw)

Performance Sim. Specs:

Construction Site: Owner/Agent:

Floor Area **Building Area** 1-Retail: Nonresidential

Envelope Assemblies

Assembly	or Perimeter	R-Value	R-Value	U-Factor	Factor _(a)
Roof: Attic Roof, Wood Joists, [Bldg. Use 1 - Retail]	260	42.0	0.0	0.024	0.027
NORTH .					
Ext. Wall: Wood-Framed, 24in. o.c., [Bldg. Use 1 - Retail]	849	19.0	5.0	0.047	0.089
Window: Other Window: Fixed, Perf. Specs.: Product ID trifab, SHGC 0.25, PF 0.10, VT 0.55, [Bldg. Use 1 - Retail] (c)	246			0.550	0.350
Door: Glass (over 50% glazing): Metal Frame, Entrance Door, Perf. Specs.: Product ID storefront, SHGC 0.25, VT 0.55, [Bldg. Use 1 - Retail] (c)	42			0.770	0.770
EAST Ext. Walls Wood Framed, 24ip, a.c. [Pldg. Use 1] Retail]	0.40	40.0	5.0	0.047	0.000
Ext. Wall: Wood-Framed, 24in. o.c., [Bldg. Use 1 - Retail]	849	19.0	5.0	0.047	0.089
Nindow: Other Window: Fixed, Perf. Specs.: Product ID trifab, SHGC 0.25, PF 0.43, VT 0.55, [Bldg. Use 1 - Retail] (c)	51			0.550	0.350
Window: Other Window: Fixed, Perf. Specs.: Product ID trifab, SHGC 0.25, PF 0.10, VT 0.55, [Bldg. Use 1 - Retail] (c)	288			0.550	0.350
<u>50UTH</u>					
Ext. Wall: Wood-Framed, 24in. o.c., [Bldg. Use 1 - Retail]	849	19.0	5.0	0.047	0.089
Window: Other Window: Fixed, Perf. Specs.: Product ID trifab, SHGC 0.25, PF 0.10, VT 0.55, [Bldg. Use 1 - Retail] (c)	164			0.550	0.350

- (a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
- (b) 'Other' components require supporting documentation for proposed U-factors. (c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.

Envelope Compliance Statement

elope PASSES: Design 1% better than code

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 90.1 (2013) Standard requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist. — DocuSigned by:

Ginger Summer Name - Title

Linger Summer (COPIED FROM STRUCTUAL NOTE SHEET)

STRUCTURAL DESIGN CODE: NORTH CAROLINA STATE BUILDING CODE - 2018 EDITION (IBC 2015) STRUCTURAL LOADING PER ASCE 7-2010

BUILDING RISK CATEGORY (NCSBC 2018 TABLE 1604.5) DESIGN LOADS: ROOF LIVE LOAD FLOOR LIVE LOAD (Main Floor)
FLOOR LIVE LOAD (Upper Level Office)

SNOW LOAD DATA: GROUND SNOW LOAD SNOW EXPOSURE FACTOR SNOW LOAD IMPORTANCE FACTOR FLAT ROOF SNOW LOAD 12.7 PSF ROOF SLOPE FACTOR PITCHED ROOF SNOW LOAD

WIND LOAD DATA ULTIMATE DESIGN WIND SPEED, Vult NOMINAL DESIGN WIND SPEED, Vasd WIND EXPOSURE 114 MPH "B" w/ Open Patches +0.18, -0.18 INTERNAL PRESSURE COEFFICIENTS (Addition) WIND BASE SHEAR (Addition, x-x Direction) WIND BASE SHEAR (Addition, y-y Direction)
INTERNAL PRESSURE COEFFICIENTS (Covered Entry +0.0, -0.0 WIND BASE SHEAR (Covered Entry, x-x Direction WIND BASE SHEAR (Covered Entry, y-y Direction WIND PRESSURE FOR COMPONENTS / CLADDING 2.4 KIPS 2.1 KIPS PER ASCE 7-10

0.293

0.115

SEISMIC LOAD DATA SEISMIC IMPORTANCE FACTOR MAPPED SPECTRAL RESPONSE ACCELERATION MAPPED SPECTRAL RESPONSE ACCELERATION SPECTRAL RESPONSE COEFFICIENT SPECTRAL RESPONSE COEFFICIENT SEISMIC DESIGN CATEGORY BASIC STRUCTURAL SYSTEM (Addition) SEISMIC RESISTING SYSTEM RESPONSE MODIFICATION COEFFICIENT SYSTEM OVERSTRENGTH FACTOR DEFLECTION AMPLIFICATION FACTOR SEISMIC RESPONSE COEFFICIENT

SEISMIC BASE SHEAR (Covered Entry)

Bearing Wall System Light Framed Walls w/ Shear Panels Equivalent Lateral Force ANALYSIS PROCEDURE SEISMIC BASE SHEAR (Addition)

BASIC STRUCTURAL SYSTEM (Covered Entry) Cantilevered Column System SEISMIC RESISTING SYSTEM Steel Ordinary Cantilevered Column RESPONSE MODIFICATION COEFFICIENT SYSTEM OVERSTRENGTH FACTOR DEFLECTION AMPLIFICATION FACTOR ANALYSIS PROCEDURE Equivalent Lateral Force



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SCOPE OF WORK:

-NEW EXT. ENVELOPE FOR VISITOR CENTER -ADDITION OF FAMILY RESTROOM -NEW RESTROOM ENTRANCE CANOPY

DRAWING INDEX

A0.1 COVER SHEET A1.0 SITE / LIFE SAFETY PLAN DEMO PLAN / DEMO ELEVATIONS

A1.2 REV. FLOOR PLAN A1.3 FINISH PLAN

RCP & ROOF PLAN, INT. ELEVATIONS A1.4 **REVISED ELEVATIONS** A3.0 BUILDING SECTIONS A3.1 WALL SECTIONS

A3.2 WALL SECTIONS SCHEDULES DETAILS

STRUCTURAL NOTES S0 FOUNDATION PLAN

S2 ROOF FRAMING PLAN & 2ND FLR S2A WALL ELEV. & LINTEL SCHEDULE S3 FOUNDATION & FRAMING DETAILS S4 FRAMING DETAILS S5 FRAMING DETAILS

S6 FRAMING DETAILS PLUMBING SPECIFICATIONS

P2 DWV PLAN P3 WATER PLAN

HVAC SCHEDULES, NOTES M2 EXISTING HVAC PLAN М3 NEW HVAC PLAN **HVAC DETAILS**

E4

ELECTRICAL DETAILS/SPECS E2 EXISTING ELEC. PLAN E3 NEW ELEC PLAN

ELECT. PANEL S RISERS

BID SET 4.28.22

WBS: 15RE.13.3

SCO ID# 21-24079-01A

PROJECT TITLE BRUNSWICK CTY. REST AREA-RENOV. US 17 AT NC 130 SHALLOTTE, NORTH CAROLINA

PROJECT NO. 2104a DRAWING TITLE

COVER SHEET

OF SHEET

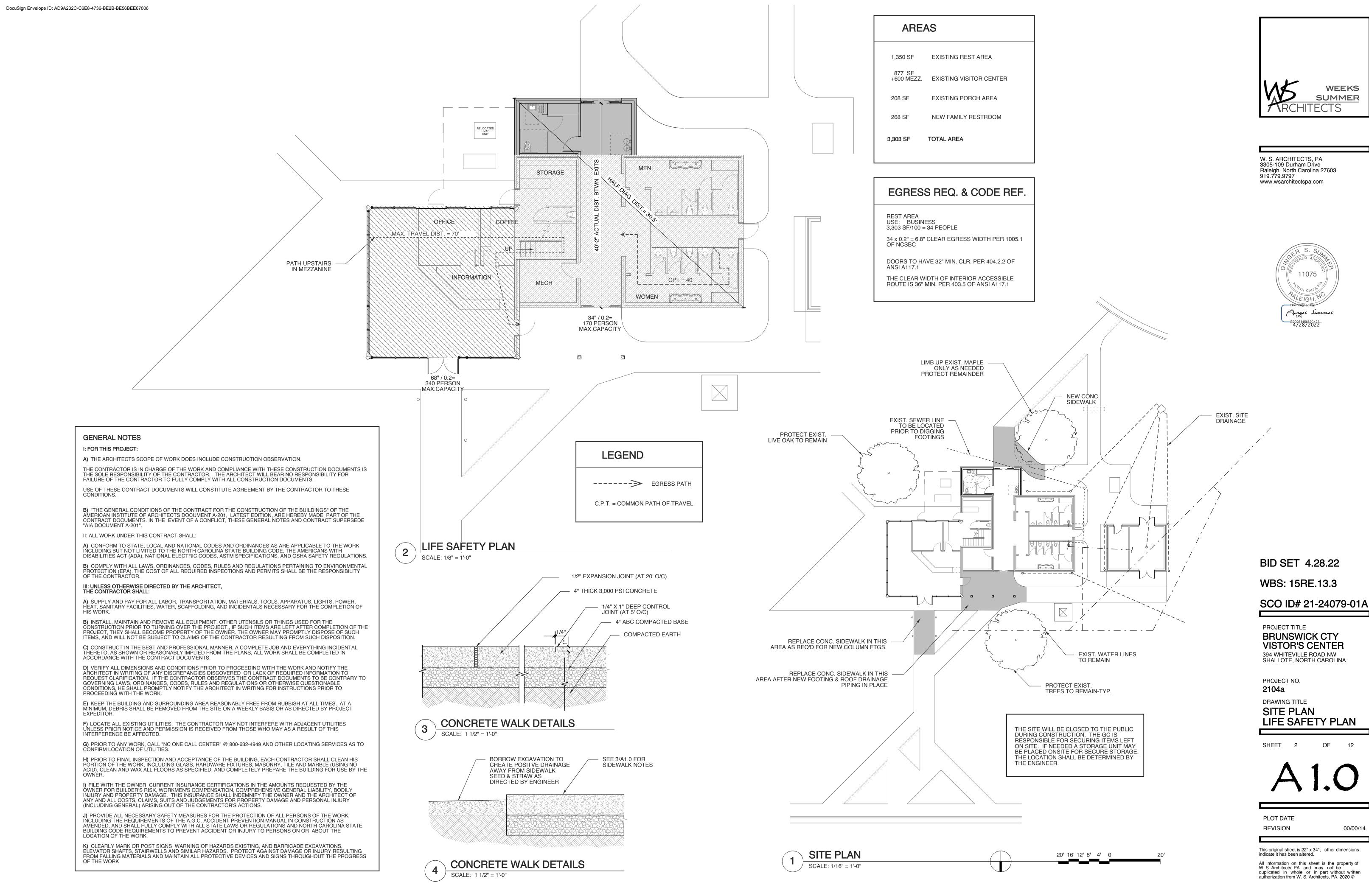
PLOT DATE REVISION

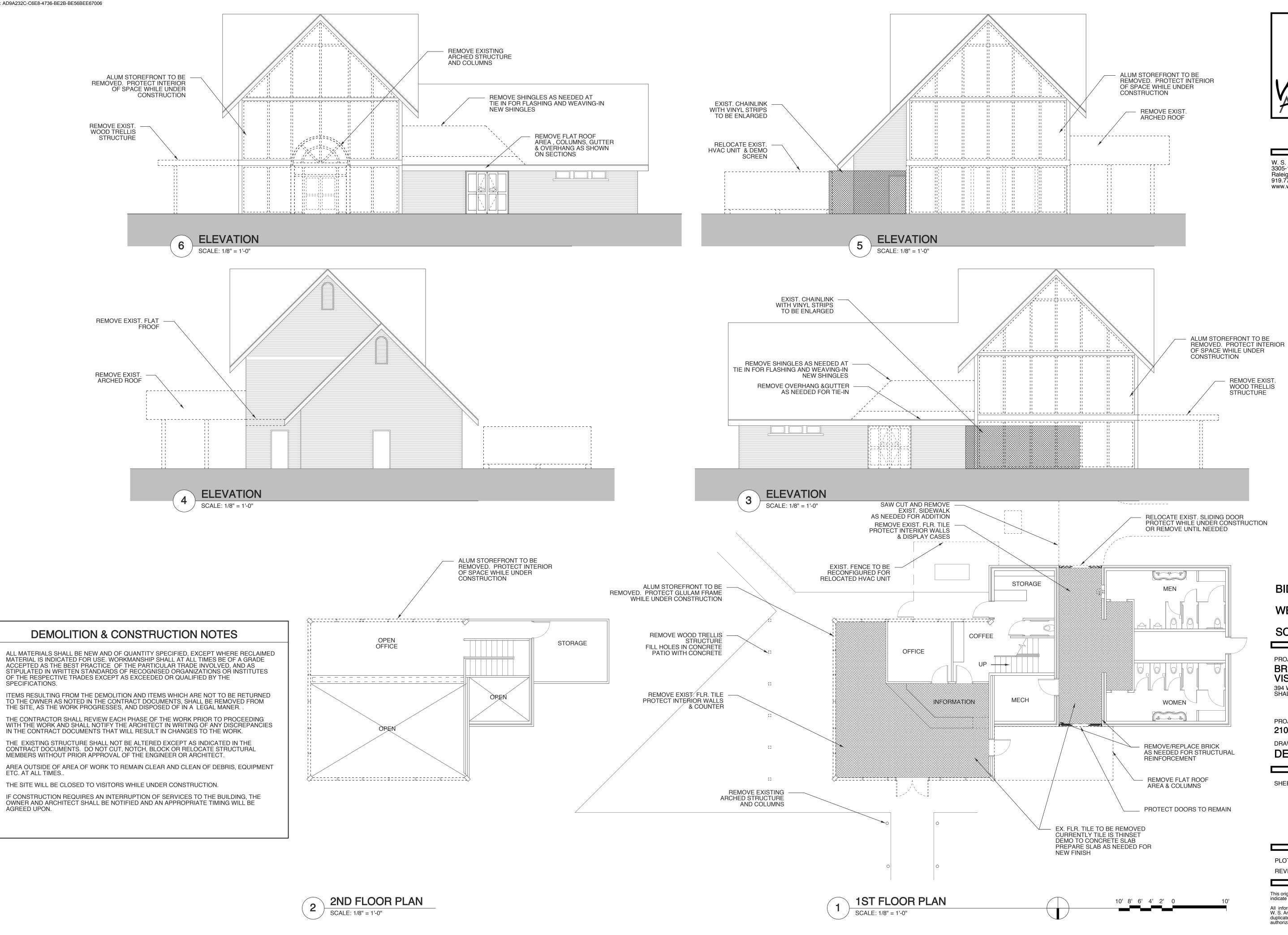
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4/28/22

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WEEKS **SUMMER**

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Hinger Summer

BID SET 4.28.22

WBS: 15RE.13.3

SCO ID# 21-24079-01A

PROJECT TITLE **BRUNSWICK CTY** VISTOR'S CENTER 394 WHITEVILLE ROAD NW SHALLOTE, NORTH CAROLINA

PROJECT NO.

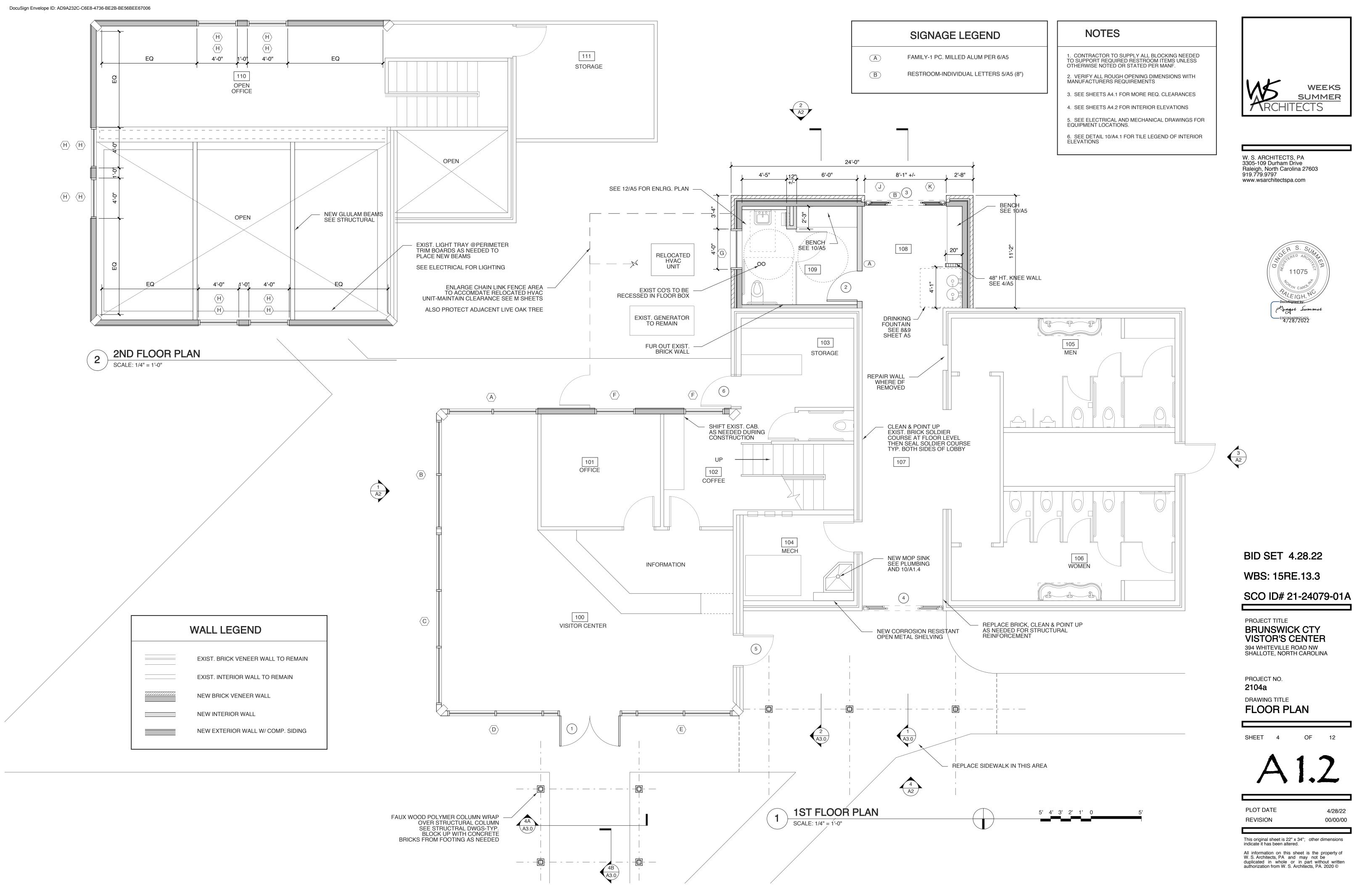
2104a

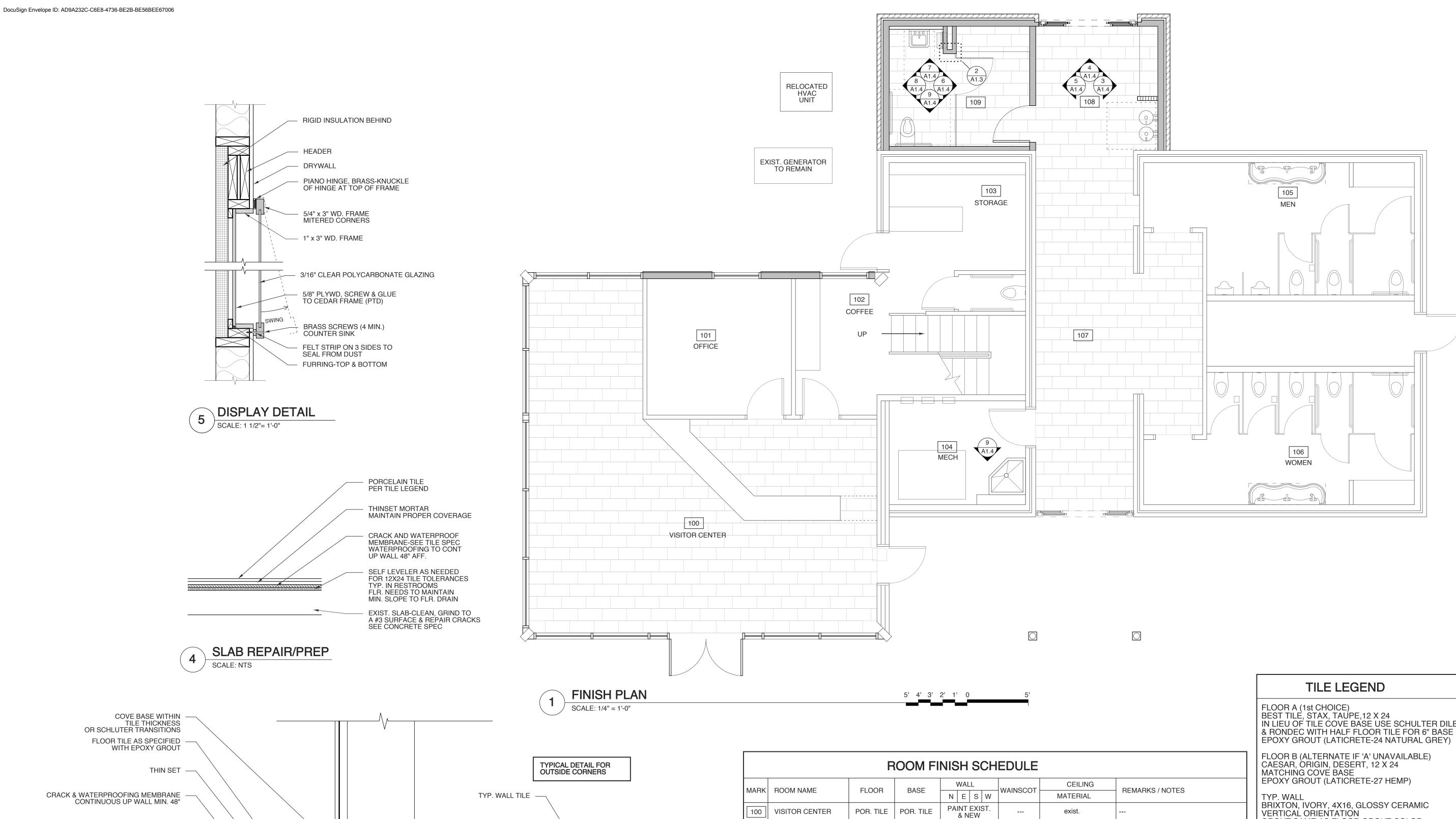
DRAWING TITLE **DEMO PLAN & ELEV**

PLOT DATE REVISION

00/00/14

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SS BULLNOSE EDGE PROTECTION SET IN THINSET

FINISH PER

OUTSIDE CORNER/END WALL

FIN. SCHEDULE

101 | OFFICE

102 COFFEE

103 STORAGE

105 | MEN

106 WOMEN

104 | MECHANICAL

107 EXIST. LOBBY

108 NEW LOBBY

109 FAMILY ROOM

110 OPEN OFFICE

111 UPSTAIRS STORAGE

exist.

exist.

exist.

exist.

exist.

exist.

POR. TILE

POR. TILE

POR. TILE

exist.

exist.

exist.

exist.

exist.

exist.

exist.

POR. TILE

POR. TILE

POR. TILE

exist.

exist.

PAINT NEW

WALLS

PAINT NEW

WALLS

PAINT EXIST.

PAINT EXIST.

CLEAN EXIST

BRICK

PAINT NEW

WALL TILE

PAINT NEW

exist.

exist.

exist.

exist.

exist.

exist.

PATCH AS NEEDED

PTD. DRYWALL

PTD. DRYWALL

exist.

exist.

PAINT AT ENTRY TO RESTROOMS

SCHULTER RONDEC TRIM AT TOP

OF WAINSCOT

POR TILE

SS BULLNOSE —

FINISH PER

SCALE: NTS

FIN. SCHEDULE

EDGE PROTECTION

SET IN THINSET

PATCH AND LEVEL

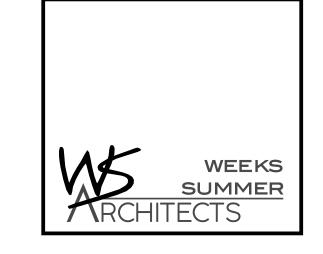
EXT. CONC. SLAB

CLEAN & GRIND

AS NEEDED

FLOOR TILE DETAIL

SCALE: 3" = 1'-0"



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IN LIEU OF TILE COVE BASE USE SCHULTER DILEX-EHK

VERTICAL ORIENTATION GROUT SAME AS FLOOR GROUT COLOR

WAINSCOT WITH FLOOR 'A' ATERRA TOBACCO 8X48 EPOXY GROUT (LATICRETE 35 MOCHA) WITH FLOOR 'B' ATERRA JUTA 8X48 EPOXY GROUT (LATICRETE 56 DESERT KHAKI)

TILE NOTES

- WALL TILE TO BE APPLIED TO CEMENT BOARD AS RECOMMENDED BY MANUFACTURER
- 2. GROUT JOINTS TO BE 1/8".
- ALL GROUT TO BE EPOXY. CLEAN RESIDUE IN SMALL AREAS CLEAN SUCH THAT NO HAZE TO REMAIN.
- 4. CAULK ALL INSIDE CORNERS AT TILE
- 5. MAINTAIN EXIST. CONTROL JTS. IN TILE.
- 6. STAGGER TILE PATTERN AT 1/3 TILE LENGTH.
- 7. PLAN LAYOUT TO MINIMIZE TILES LESS THAN 1" LAYOUT ON PLAN FOR REFERENCE ONLY
- 8. LIPPAGE TOLERANCE IS 1/32". KEEP TO MINIMUM.

BID SET 4.28.22

WBS: 15RE.13.3

SCO ID# 21-24079-01A

PROJECT TITLE **BRUNSWICK CTY** VISTOR'S CENTER 394 WHITEVILLE ROAD NW SHALLOTE, NORTH CAROLINA

PROJECT NO. 2104a

SHEET

DRAWING TITLE FINISH PLAN

OF

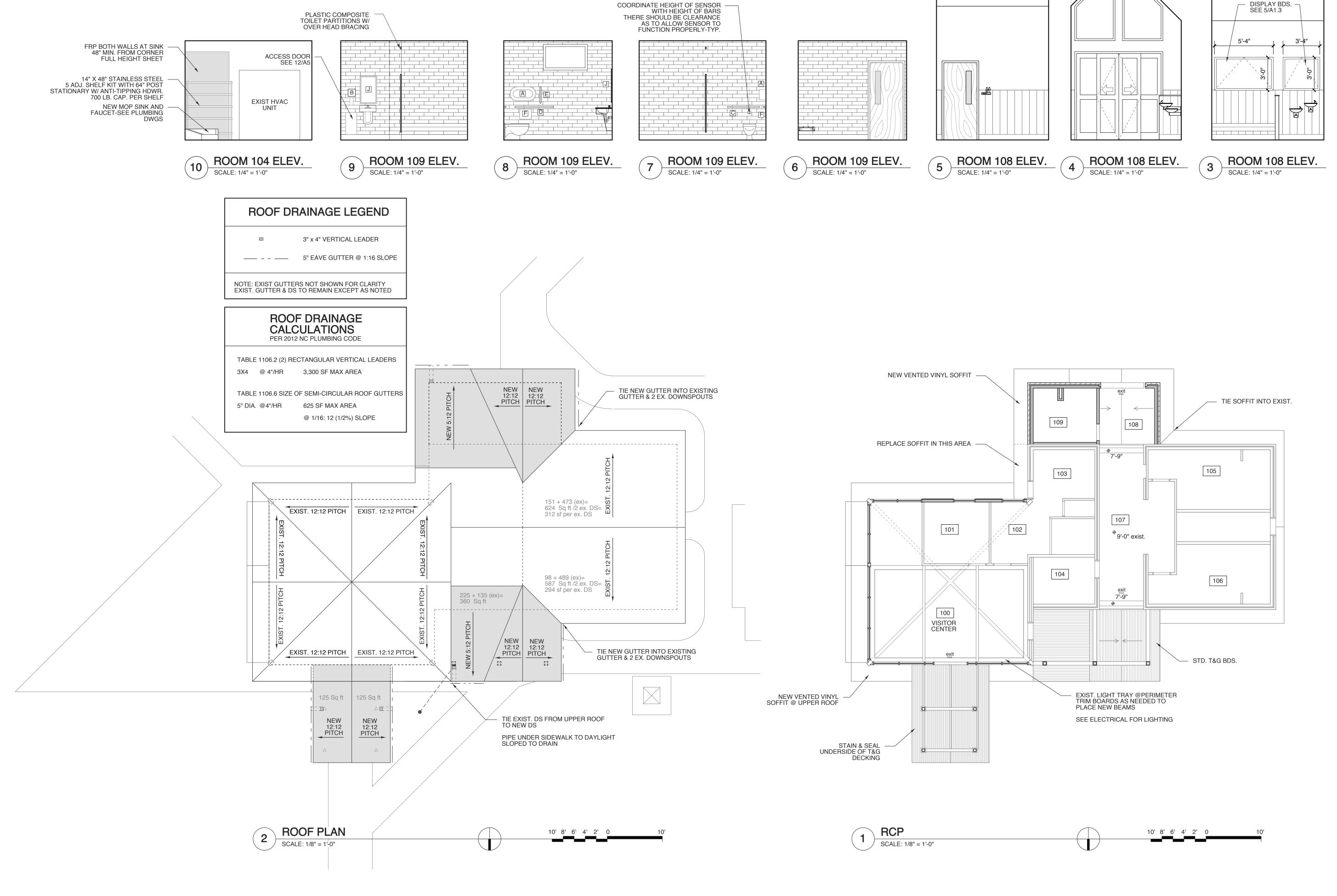
4/28/22

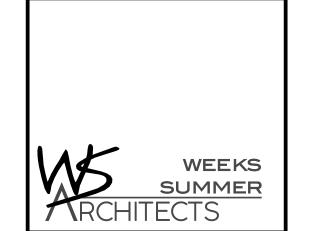
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WBS: 15RE.13.3

SCO ID# 21-24079-01A

PROJECT TITLE

BRUNSWICK CTY
VISTOR'S CENTER

394 WHITEVILLE ROAD NW
SHALLOTE, NORTH CAROLINA

PROJECT NO. **2104a**

DRAWING TITLE
RCP & ROOF PLAN

A1.4

4/28/22

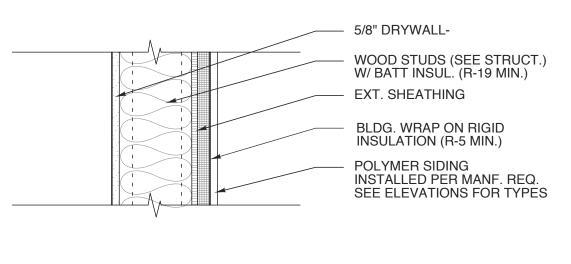
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PLOT DATE REVISION

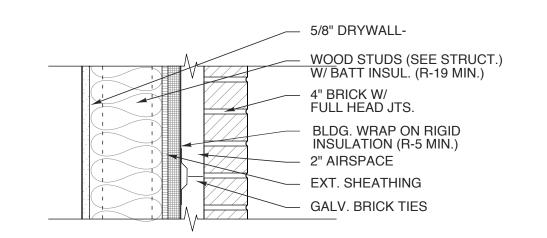
SHEET

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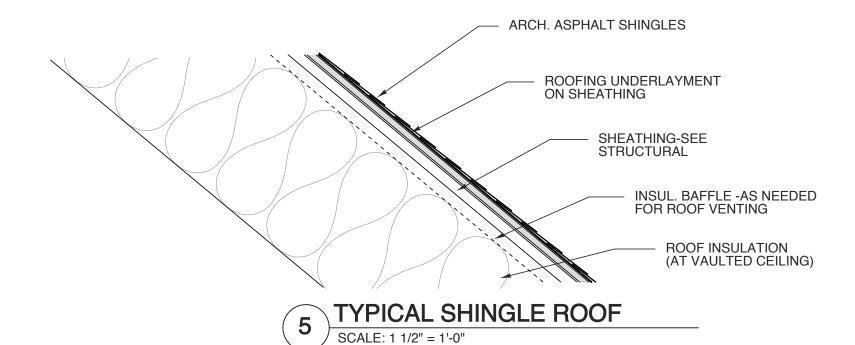
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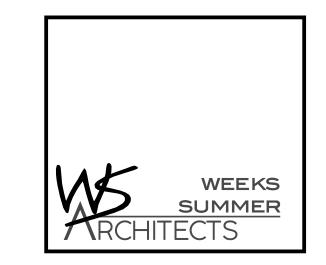


7 TYPICAL SIDING WALL SCALE: 1 1/2" = 1'-0"



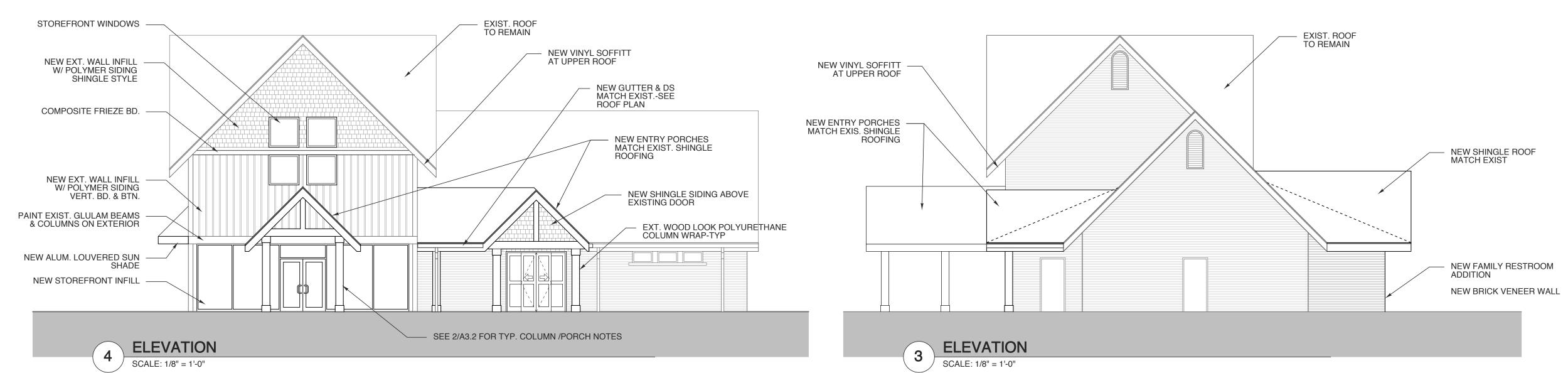
TYPICAL BRICK VENEER WALL SCALE: 1 1/2" = 1'-0"

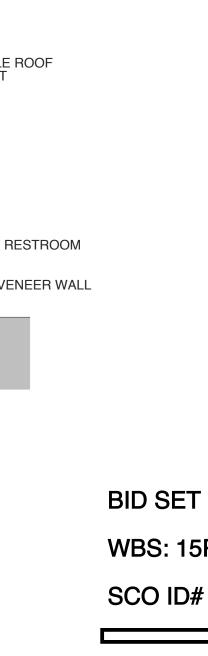


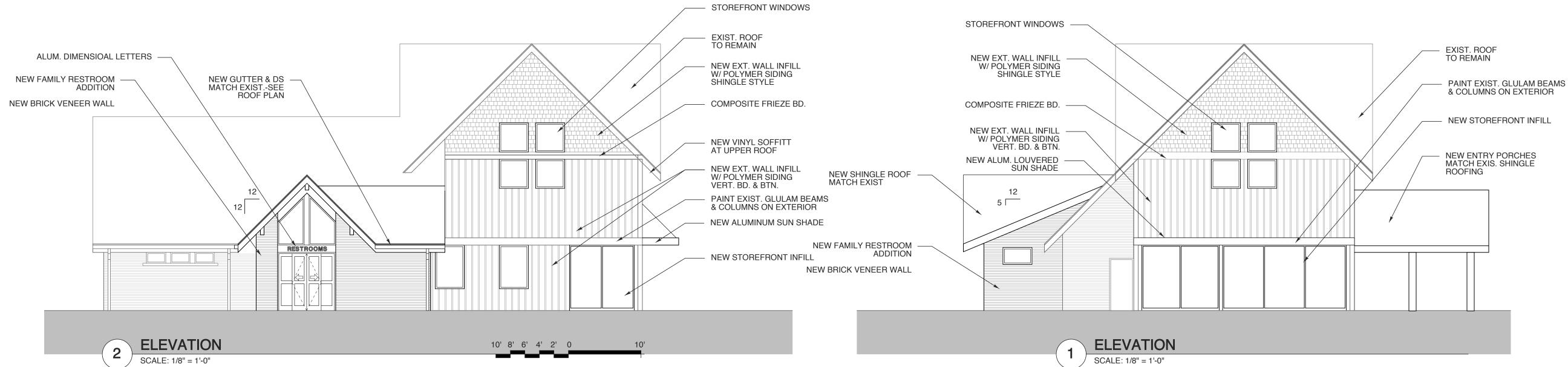


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Hinger Summer







BID SET 4.28.22

WBS: 15RE.13.3

SCO ID# 21-24079-01A

PROJECT TITLE **BRUNSWICK CTY** VISTOR'S CENTER 394 WHITEVILLE ROAD NW SHALLOTE, NORTH CAROLINA

PROJECT NO. 2104a

DRAWING TITLE **ELEVATIONS**

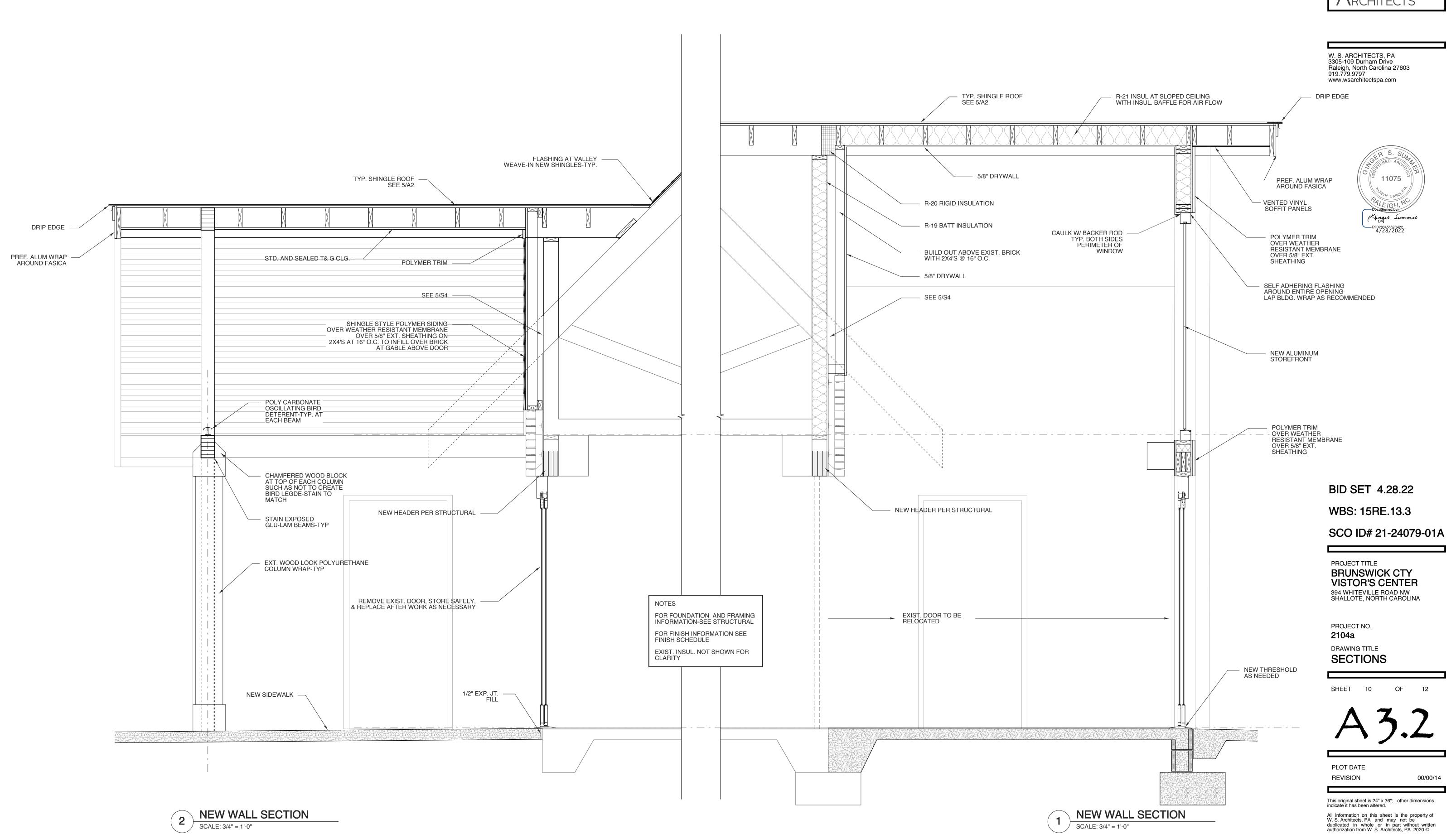
SHEET 7

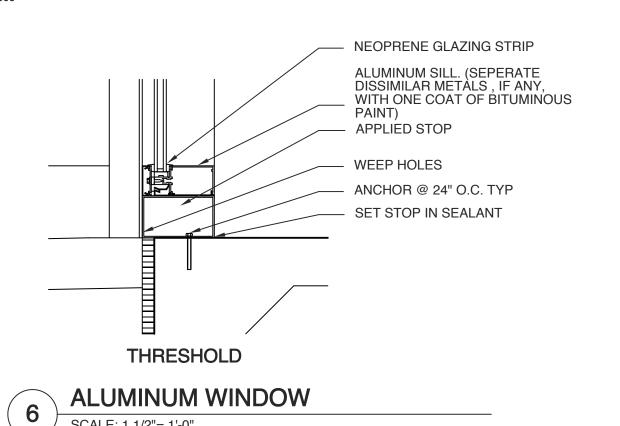
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SCALE: 3/4" = 1'-0"





WINDOW SCHEDULE							
MARK	W SIZE H	MATERIAL	GLASS	REMARKS			
$\langle A \rangle$	8'-11" x 9'-0"	ALUM STOREFRONT	1" INSUL.				
$\langle B \rangle$	10'-8" x 9'-0"	ALUM STOREFRONT	1" INSUL.				
$\langle c \rangle$	17'-0" x 9'-0"	ALUM STOREFRONT	1" INSUL.				
$\langle D \rangle$	10'-11" x 9'-0"	ALUM STOREFRONT	1" INSUL.				
$\langle E \rangle$	10'-11" x 9'-0"	ALUM STOREFRONT	1" INSUL.				
$\langle F \rangle$	4'-0" x 6'-0"	ALUM STOREFRONT	1" INSUL.				
$\langle G \rangle$	4'-0" x 2'-4"	ALUM STOREFRONT	1" INSUL.	OBSCURE GLASS			
$\langle H \rangle$	4'-0" x 4'-0"	ALUM STOREFRONT	1" INSUL.				
$\langle J \rangle$	3'-8" x 6'-8"	ALUM STOREFRONT	1" INSUL.	45 DEG. ANGLE TOP			
$\langle K \rangle$	3'-8" x 6'-8"	ALUM STOREFRONT	1" INSUL.	45 DEG. ANGLE TOP			

DOOR SCHEDULE FRAME DOOR MARK MAT'L TYPE REMARKS SIZE MAT'L 2-3'-0" x 7'-0" x 1-3/4" ALUM ALUM TRANSOM ABOVE 2 3'-0" x 7'-0" x 1-3/4" SC WOOD HM-WLD RELOCATED exist. w/ 32" min. clr. exist. w/ 32" min. clr. exist. w/ 32" min. clr. exist. w/ 32" min. clr.

HARDWARE SETS

1. PUSH / PULL HARDWARE,

THUMBTURN LOCKSET, CLOSER

WEEKS **SUMMER**

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NOTES:

- COORDINATE KEYING OF HARDWARE WITH OWNER - DOOR HANDLES TO BE LEVER HANDLE

- ALL DOORS TO MEET NCSBC SECTION 1609.1.2

WBS: 15RE.13.3 SCO ID# 21-24079-01A

BID SET 4.28.22

PROJECT TITLE **BRUNSWICK CTY VISTOR'S CENTER** 394 WHITEVILLE ROAD NW SHALLOTE, NORTH CAROLINA

PROJECT NO. 2104a DRAWING TITLE **DOOR & WINDOW** SCHED/DETAILS

OF SHEET

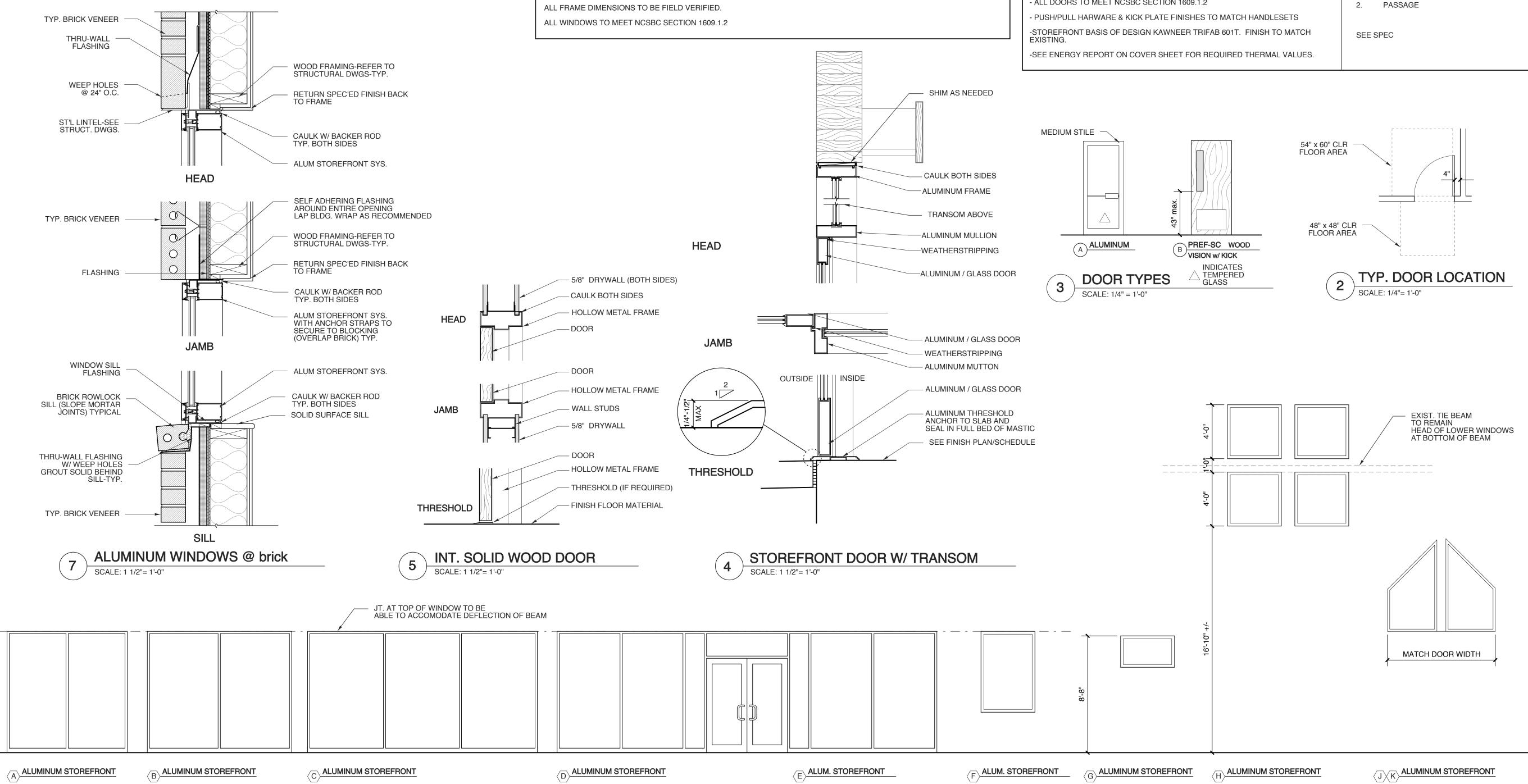
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DOOR FRAME TYPES SCALE: 1/4" = 1'-0"

BOT. OF BEAM EL. = 9'-0"

ALL GLASS TO BE TEMPERED PER NCBC SECTION 2406.4

