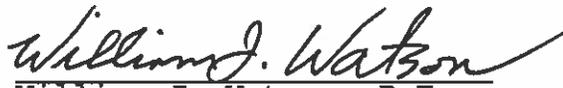
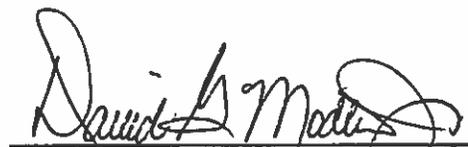


FEASIBILITY STUDY

Greenville  
Proposed Warehouse Drive  
On New Location  
From Evans Street to Charles Boulevard  
Pitt County  
U-3318

Prepared by  
Program Development Branch  
Division of Highways  
N. C. Department of Transportation

  
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3/13/95  
Date

Greenville  
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I. GENERAL DESCRIPTION

This preliminary study describes the proposed construction of Warehouse Drive in Greenville. The proposed road will be built on new location between Evans Street and Charles Boulevard. The total length is approximately 0.7 mile (1.1 km) and is located mainly on the campus of East Carolina University. The proposed cross-section is a 32-foot (9.8-m) wide curb-and-gutter section, on a 60-foot (18.3-m) wide right-of-way. The recommended project location is shown as Alternate 1 on Figure 1 and Figure 2. Twelve residential relocatees (in one apartment building) and no business relocatees will be required due to this project. The total cost including construction and right-of-way is estimated to be \$2,330,000.

This study is the initial step in the planning and design process for this project and is not the product of exhaustive environmental or design investigations. The purpose of this study is to describe the recommended improvement including costs, and identify potential problem areas that require consideration in the planning and design phases.

II. NEED FOR PROJECT

This project is supported by East Carolina University and will provide a link between two major thoroughfares, Evans Street and Charles Boulevard. This project will also provide access to planned facilities on the East Carolina University Campus.

Evans Street is a major radial route from the center of Greenville to the southern planning area boundary. Charles Boulevard is a radial route from the center of Greenville to the southeastern boundary of the planning area. Charles Boulevard serves the Central Business District (CBD) and is a major entrance to the East Carolina University Campus.

From the western project terminal to the branch of Green Mill Run, a distance of approximately 1,100 feet (336 m), the project crosses privately owned property. From the branch of Green Mill Run, east to Charles Boulevard, the project lies on the campus of East Carolina University. Land use within

the western portion is privately owned property including one apartment building and undeveloped woodland. Land use within the remaining area, owned by East Carolina University, includes athletic fields, and parking areas. Planned facilities include warehouses and additional athletic fields.

The Average Daily Traffic (ADT) on the proposed facility is estimated to be 2,200 vehicles per day (vpd) in 1994 and 5,200 vpd in the design year (2020).

The Level Of Service (LOS) for the proposed facility, based on 1994 traffic volumes is estimated to be level B. The LOS based on traffic volumes in the 2020 design year is estimated to be level C.

### III. RECOMMENDATIONS

It is recommended to construct Warehouse Drive, on new location, between Evans Street and Charles Boulevard, in Greenville. The total length is approximately 0.7 mile (1.1 km). The proposed project is located mainly on the campus of East Carolina University. The proposed cross-section is a 32-foot (9.8-m) wide curb-and-gutter section on a 60-foot (18.3-m) wide right-of-way. This cross-section will provide one 14-foot (4.0-m) wide travel lane in each direction. This cross-section will accommodate bicycles, as requested by NCDOT's Bicycle Program. The project location and vicinity is shown on Figure 1, and the project alternative locations are shown on Figure 2. Twelve residences (in one apartment building), and no businesses will require relocation due to this project. The total cost including construction and right-of-way is estimated to be \$2,400,000 as follows:

Construction .....	\$1,500,000
Right of Way .....	\$ 900,000
Total Cost .....	\$2,400,000

### IV. OTHER COMMENTS

Alternate 2, as shown on Figures 1 and 2, has the eastern project terminal at Greenville Boulevard. This terminal location is considered less desirable, from a traffic operations standpoint, than the recommended Charles Boulevard location due to the heavier commercial development on Greenville Boulevard.

An environmental screening was not conducted for this study. However, some wetlands near the western project terminal will be encountered. A section 404 Corps of Engineers Nationwide Permit may be required. Also, some

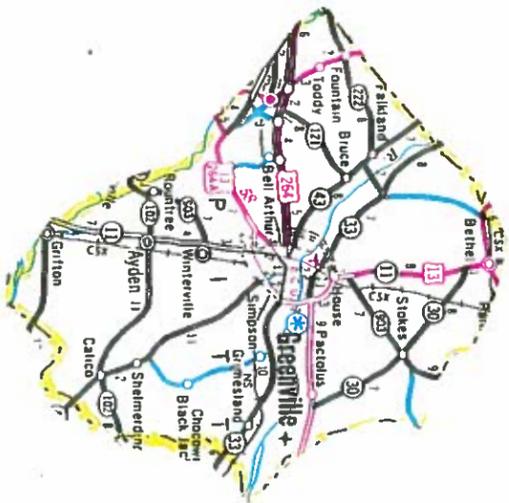
existing athletic fields on the campus of East Carolina University lie in the path of this project. This project is supported by the University and follows its Master Plan. The athletic fields are to be rearranged and enlarged and are not open to the public in general. No Section 4(f) involvement is anticipated.

The cost for traffic signals at both project terminals has been included in the project construction cost, however, signals should not be installed at either intersection, unless a traffic study determines a signal is warranted. Such studies are beyond the scope of this study.

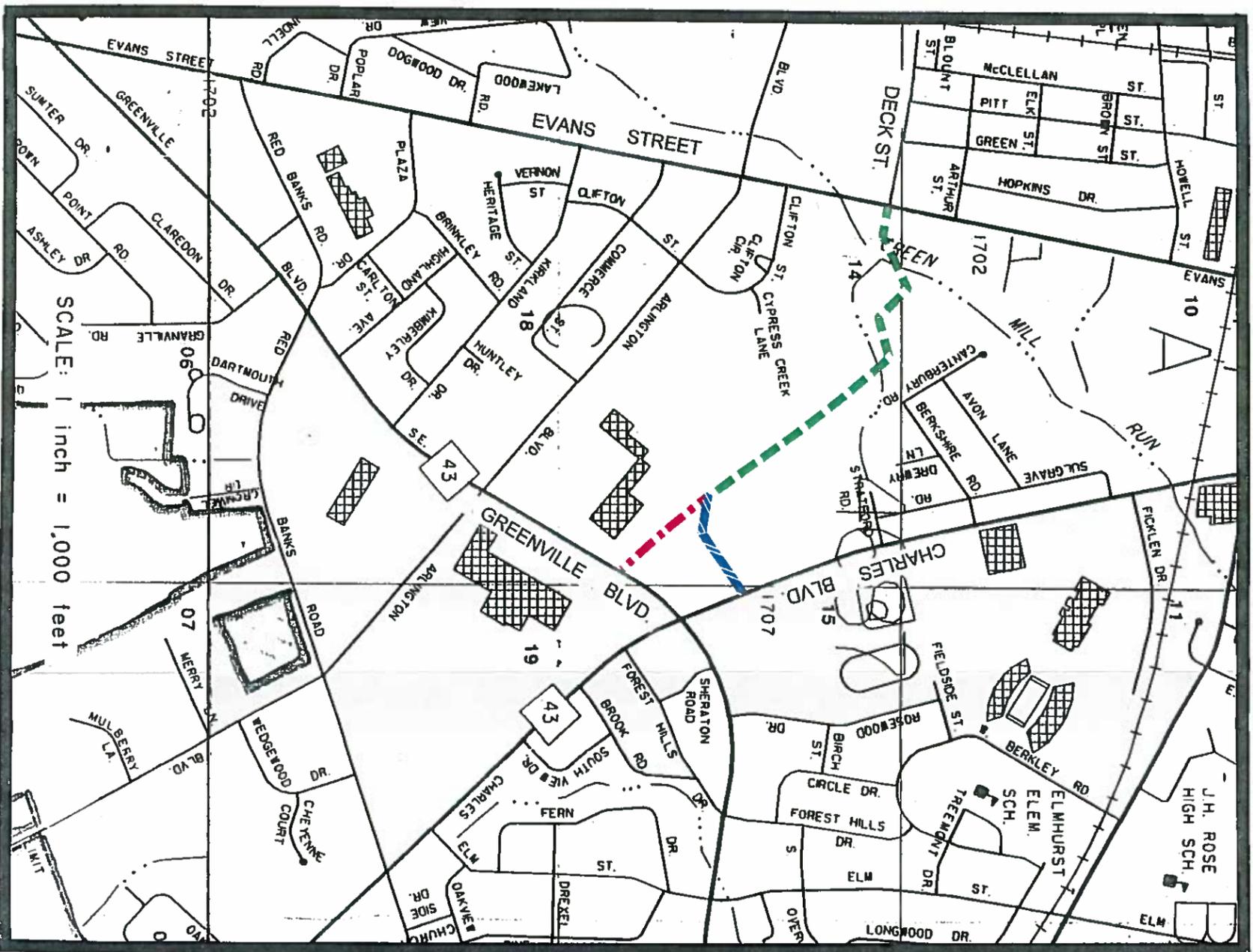
A 40-foot (12.2-m) wide, curb-and-gutter, cross-section was studied for this project, as called for in the Transportation Improvement Program (TIP). This section will provide one 13-foot (4.2-m) wide travel lane in each direction with a 10-foot (4.0-m) wide, two-way, center turn lane. This cross-section will accommodate bicycles, as requested by NCDOT's Bicycle Program, and will provide essentially the same LOS as the recommended section. The total project cost with this alternative section is estimated to be \$2,600,000 as follows:

Construction	.....\$1,700,000
Right of Way	.....\$ 900,000
Total Cost	.....\$2,600,000

This cross-section is not recommended because it is not justified by projected traffic volumes, and it is estimated to be \$200,000.00 more expensive than the 2-lane section. Also, the University has expressed a preference for the recommended cross-section.



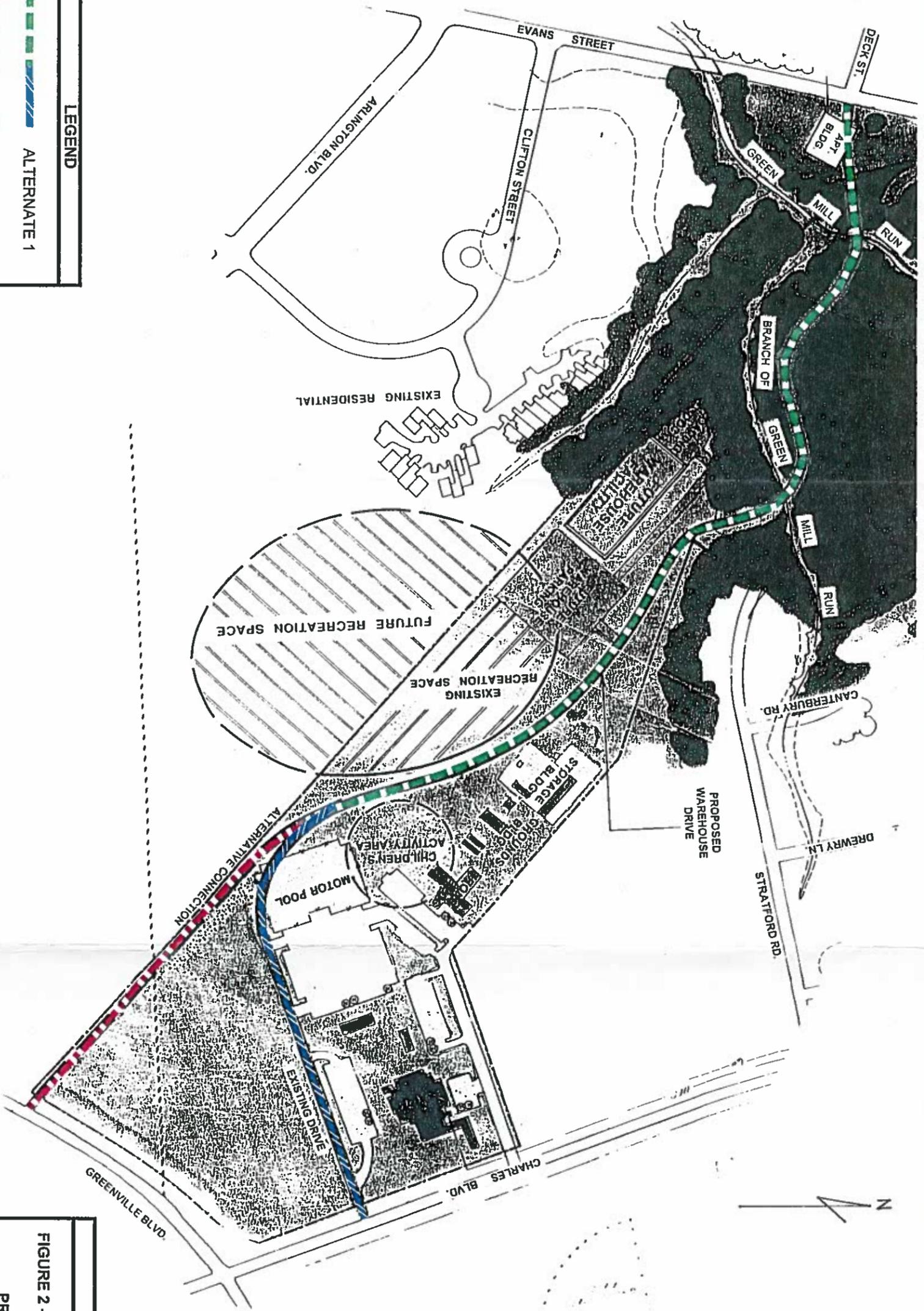
LEGEND	
ALTERNATE 1	
ALTERNATE 2	



SCALE: 1 inch = 1,000 feet



FEASIBILITY STUDIES UNIT  
 FIGURE 1 - PROJECT LOCATION & VICINITY  
 PROPOSED WAREHOUSE DRIVE  
 ON NEW LOCATION  
 FROM EVANS STREET TO CHARLES BLVD.  
 GREENVILLE  
 U-3318  
 DIVISION 2 | PITT COUNTY | FIGURE 1



FEASIBILITY STUDIES UNIT

**FIGURE 2 - PROJECT ALTERNATIVE LOCATIONS**

PROPOSED WAREHOUSE DRIVE  
ON NEW LOCATION  
FROM EVANS STREET TO CHARLES BLVD.  
GREENVILLE  
U-3318

DIVISION 2 | PITT COUNTY | FIGURE 2